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**Section 16 Application for Proposed House Development and Excavation
of Land in “Residential (Group D)” Zone at Lot 182 S.B in D.D. 128, Ha
Tsuen, Yuen Long, New Territories**

Planning Statement

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EXECUTIVE SUMMARY

(In case of discrepancy between English and Chinese versions, the English version shall prevail)

This Application is submitted to the Town Planning Board (“**TPB / the Board**”) under Section 16 of the Town Planning Ordinance for a Proposed House Development and Excavation of Land (“**the Proposed Development/ Proposed Scheme**”) at Lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, New Territories (“**the Application Site**”).

The Application Site falls within an area zoned “Residential (Group D)” (“**R(D)**”) on the Approved Ha Tsuen Fringe Outline Zoning Plan No. S/YL-HTF/12 (“**the OZP**”). As stipulated in the OZP, ‘House (not elsewhere specified)’ is a Column 2 use and is subject to a maximum plot ratio (“**PR**”) of 0.2 and a maximum building height (“**BH**”) of 2 storeys (6m). Any filling of pond or excavation of land, shall not be undertaken without the permission from the Board. This Application is therefore submitted for the Board’s consideration.

The Application Site is subject to an approved planning application for Proposed Temporary Recyclable Collection Centre for Metal for a Period of 3 Years (Application No. A/YL-HTF/1138). The Application was approved on 26.8.2022 by the Board. The Proposed Development comprises a 1-storey residential block and 2 ancillary blocks with a PR not more than 0.2 and domestic Gross Floor Area (“**GFA**”) about 508m².

The Proposed Development is justified on the following grounds:

- Wholly In Line with the Planning Intentions of R(D) Zone;
- Opportunity to Phase Out Non-Conforming Uses in R(D) Zone;
- Not Incompatible with The Surrounding Rural Setting;
- Direct Response to the Government’s Housing Policy; and
- No Additional Adverse Traffic, Sewerage, Drainage, and Environmental Impacts Anticipated.

On this basis of the above justifications, we sincerely wish that the Board can give favourable consideration to this Application.

內容摘要

(如內文與其英文版本有差異，則以英文版本為準)

本規劃申請根據《城市規劃條例》第 16 條，就新界元朗厦村丈量約份第 128 約地段第 182 號 B 分段(「申請地點」)的用地，向城市規劃委員會(「城規會」)申請屋宇發展用途及挖土工程(「擬議發展」)。

根據厦村邊緣分區計劃大綱核准圖編號 S/YL-HTF/12(「核准圖」)，申請地點被劃為「住宅(丁類)」地帶。根據核准圖有關「住宅(丁類)」地帶的註釋，「屋宇(未另有列明者)」屬註釋中的第二欄用途，最高地積比率為 0.2 倍，最高建築物高度為兩層(6 米)。任何填塘或挖土工程如未取得城規會給予的許可前不得進行。申請人遂向城規會遞交是次規劃申請。

申請地點現時為城規會許可的臨時五金回收中心(為期 3 年)(申請編號 A/YL-HTF/1138)，有關申請在 2022 年 8 月 26 日獲批。擬議發展涉及一幢一層高的住宅及兩幢一層高的附屬建築物，地積比率不多於 0.2 倍(住用部分總樓面面積約 508 平方米)。

擬議發展有充分的理由支持，當中包括以下規劃理據：

- 擬議發展的用途與完成符合「住宅(丁類)」地帶的規劃意向；
- 逐步替代「住宅(丁類)」地帶內的不符合規劃的用途；
- 建築密度貼合現時附近低密度發展環境；
- 擬議發展用途積極響應政府的房屋政策；及
- 不會對周邊地區的交通、排水、排污及環境造成負面影響。

基於以上考量因素，申請人希望城規會批准是次規劃申請。

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1 INTRODUCTION

1.1 The Application

- 1.1.1 Pursuant to section 16 of the Town Planning Ordinance (Cap. 131), this Planning Statement is submitted to the Town Planning Board (“**TPB / the Board**”) in support of this planning application for Proposed House Development and Excavation of Land (hereinafter referred to as “**the Proposed Development**”) at Lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, New Territories (“**the Application Site / the Site**”).
- 1.1.2 The Application Site is zoned “Residential (Group D)” (“**R(D)**”) on the Approved Ha Tsuen Fringe Outline Zoning Plan No. S/YL-HTF/12 (“**the OZP**”). According to the Notes of the OZP, the planning intention of “R(D)” zone is “*intended primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Town Planning Board.*”
- 1.1.3 ‘House (not elsewhere specified)’ is a Column 2 use which may be permitted with or without conditions on application to the Board. The Application Site is subject to a maximum plot ratio (“**PR**”) of 0.2 and a maximum building height (“**BH**”) of 2 storeys (6m).
- 1.1.4 According to the Notes of the OZP, “*any filling of pond or excavation of land, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken without the permission from the Board*”. The Proposed Development will involve excavation of land mainly for site foundation and formation, as well as other necessary utility works in construction phase.
- 1.1.5 In view of the above, this application is submitted for the consideration of the Board.

1.2 Structure of the Planning Statement

- 1.2.1 **Chapter 1** is the introduction outlining the purpose of this application and provide background information. **Chapter 2** gives background details of the Application Site in terms of the current land-use characteristics and the surrounding developments. **Chapter 3** provides an overview on the planning context of the Application Site. **Chapter 4** discusses the development proposal in respect of the technical perspectives and the design features. Justifications for approval to the application are provided in **Chapter 5** and a summary of this submission is provided in **Chapter 6**.

2 THE APPLICATION SITE AND SURROUNDINGS

2.1 Current Condition and Surrounding Context of the Application Site

- 2.1.1 The Application Site, covering a total site area of about 2,550 m² according to the Topographic Survey conducted by registered land surveyor (**Annex 4** refers), is located at the southern fringe of Lau Fau Shan, to the Northwest of Fung Kong Tsuen and to the west of Sha Kong Tsuen. It is accessible via an existing local track leading from Fung Kong Tsuen Road. **Figure 2.1** show the location of the Site and its surroundings.
- 2.1.2 The Application Site is subject to an approved planning application applied for Proposed Temporary Recyclable Collection Centre for Metal for a Period of 3 Years with a valid planning permission granted by the Board on 26.8.2022 (Application No. A/YL-HTF/1138). Under the application, some temporary structures of 1-2 storeys (4-6.5m) are placed on-site for the permitted temporary use.



Figure 2.1: Location Plan
(Source: GeoInfo Map)

2.2 Surrounding Land-use Characteristics

- 2.2.1 The Site is situated in a rural setting within Ha Tsuen, Yuen Long. Some fallow land, temporary structures for warehouse/storage uses and low-rise structures can be found along the access road to/from the Application Site as shown on the site photos (**Annex 1** refers).
- 2.2.2 Open storage yards for recycling materials, warehouse and construction materials can be found to the east, south and west of the Site. A recyclable collection centre is located to the south of the Site. Vacant land, shrubland and recyclables collection centre are found to the north of the Site.

2.3 Site Accessibility

- 2.3.1 The Application Site is accessible via a local track to Fung Kong Tsuen Road and Kai Pak Ling Road which branch off from Ping Ha Road connecting to/from the inner Yuen Long and Tuen Mun as shown on **Figure 2.2**.

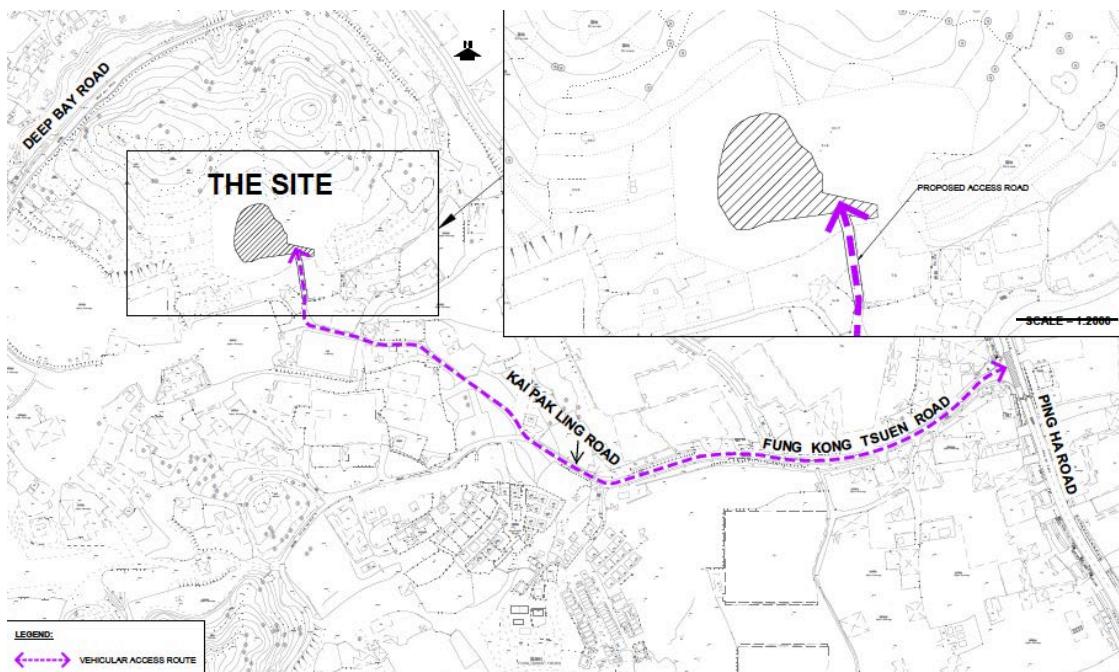


Figure 2.2: Site Accessibility from Fung Kong Tsuen Road

(Source: map created by LLA)

- 2.3.2 In terms of public transport, the Application Site is served by Light Rail Feeder Bus K65 at Ping Ha Road, operating between Yuen Long Railway Station and Lau Fau Shan. There are also multiple minibus routes, i.e. 33, 34, 35 and 618, serving Yuen Long, Tin Shui Wai and Lau Fau Shan. **Figure 2.3** illustrates the closest public transport services in the vicinity.



Figure 2.3: Site Accessibility by Public Transport
(Source: GeoInfo Map)

2.4 Site of Archaeological Interest – Hang Hau Tsuen (AL40)

- 2.4.1 The Application Site falls within the Hang Hau Tsuen Site of Archaeological Interest (“SAI”). A relevant Archaeological Field Survey Report¹ (“AFSR”) was conducted in 2016 under an Environmental Impact Assessment for the construction and operation of Hung Shui Kiu New Development Area.
- 2.4.2 According to the AFSR, the Application Site had been surveyed under AL40, the conducted archaeological works did not identify any sign of archaeological remains within the boundary of AL40. Results of the archaeological works concluded that no archaeological potential in this surveyed section of the Hang Hau Tsuen SAI.

¹ Hong Kong Institute of Archaeology, June 2016. “Contract No. YL/2013/02 Hung Shui Kiu New Development Area – P&E Study – Investigation Archaeological Field Survey Report”, Available at https://www.epd.gov.hk/eia/register/report/eiareport/eia_2482016/EIA/Appendices/12%20-%20Cultural%20Heritage/App%2012.2/App%2012.2.pdf

2.5 Land Status

2.5.1 The whole Application Site falls within private lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, as shown on **Figure 2.4**. The Site is solely owned by the Applicant.

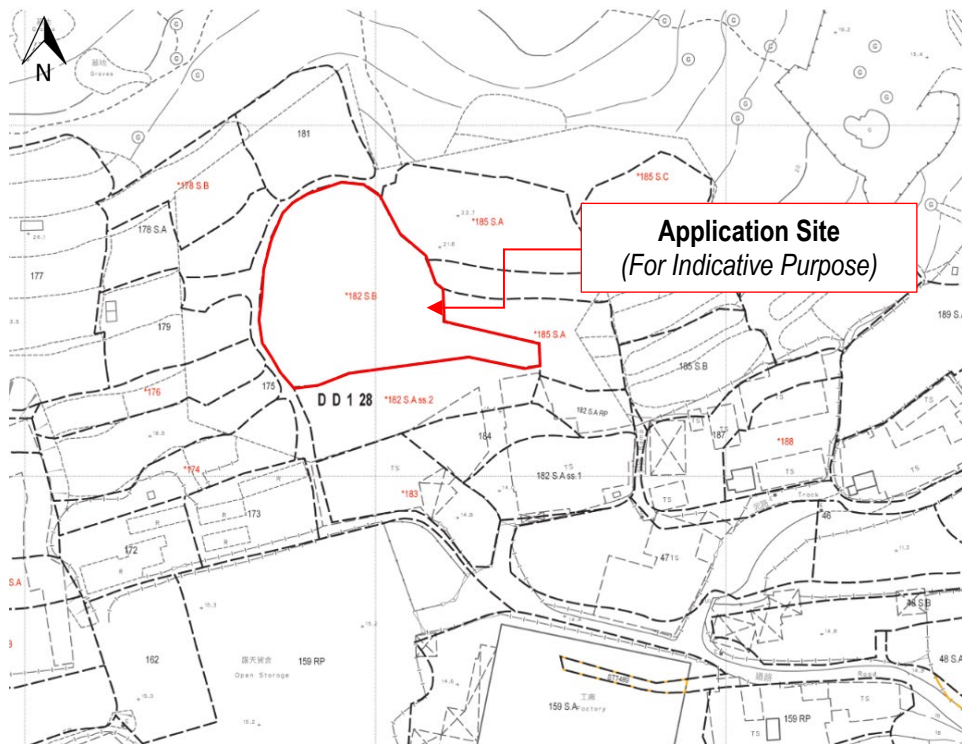


Figure 2.4: Lot Index Plan
(Source: Lands Department)

3 PLANNING CONTEXT

3.1 Statutory Context

- 3.1.1 The Application Site is zoned “Residential (Group D)” (“**R(D)**”) zone on the Approved Ha Tsuen Fringe Outline Zoning Plan No. S/YL-HTF/12 (“**the OZP**”). According to the Notes of the OZP, the planning intention of “R(D)” zone is “*intended primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Town Planning Board.*”
- 3.1.2 In addition, according to the Notes of the OZP, “*any filling of pond or excavation of land, including that to effect a change of use to any of those specified in Columns 1 and 2 above or the uses or developments always permitted under the covering Notes (except public works co-ordinated or implemented by Government, and maintenance, repair or rebuilding works), shall not be undertaken or continued on or after the date of the first publication in the Gazette of the notice of the Ha Tsuen Interim Development Permission Area Plan without the permission from the Town Planning Board under section 16 of the Town Planning Ordinance.*”
- 3.1.3 ‘House (not elsewhere specified)’ is a Column 2 use which may be permitted with or without conditions on application to the Board. The Application Site is subject to a maximum PR of 0.2 and a maximum BH of 2 storeys (6m).

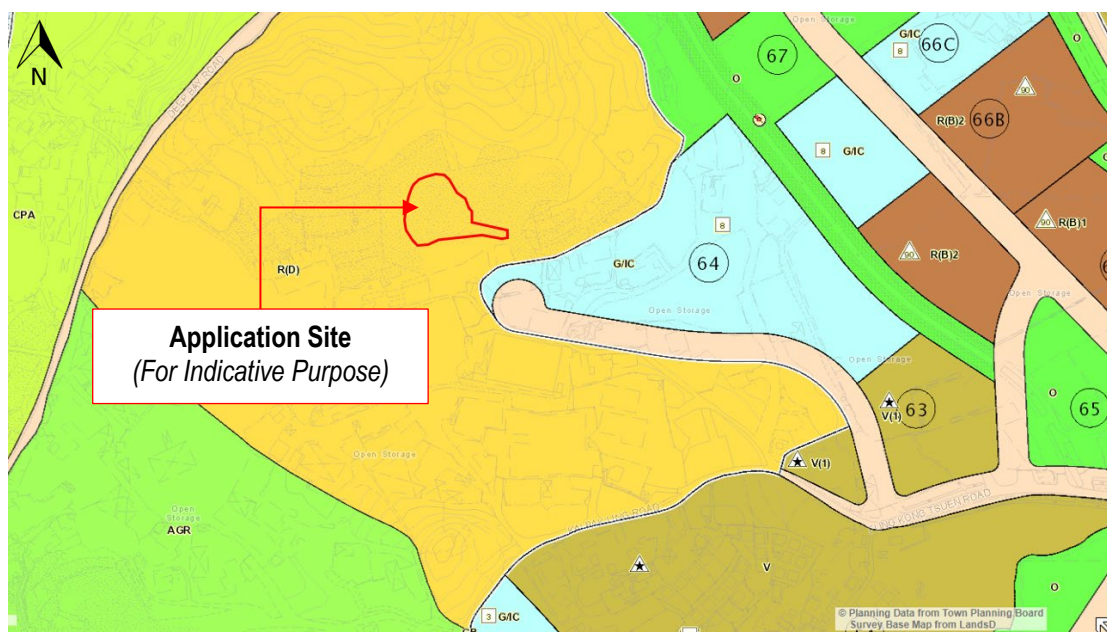


Figure 3.1: Extract of Approved S/YL-HTF/12 OZP
(Source: Statutory Planning Portal)

3.2 Similar and Previous Approved Planning Applications

- 3.2.1 The Application Site formed part of 4 previously approved planning applications for a proposed temporary recyclable collection centre, and 1 similar planning application for residential development in the same “R(D)” zone, details tabulated in **Table 3.1**.

Table 3.1: Previous Approved Planning Applications covering the Application Site

No.	Application No.	Applied Use	Location	Decision by Town Planning Board
1.	A/YL-HTF/1101	Proposed Temporary Recyclable Collection Centre for Metal and Garment for a Period of 3 Years	Lots 182 S.A ss.2 (Part) and 182 S.B (Part) in D.D.128, Ha Tsuen, Yuen Long, N.T.	Approved by the Board with conditions on 17.1.2020
2.	A/YL-HTF/1109	Proposed Temporary Recyclable Collection Centre for Metal for a Period of 3 Years	Lots 182 S.A ss. 2 (Part) and 182 S.B (Part) in D.D. 128, Ha Tsuen, Yuen Long, New Territories	Approved by the Board with conditions (18.12.2020)
3.	A/YL-HTF/1138	Proposed Temporary Recyclable Collection Centre for Metal for a Period of 3 Years	Lots 182 S.A ss.2 (Part) and 182 S.B (Part) in D.D.128, Ha Tsuen, Yuen Long, New Territories	Approved by the Board with conditions (26.8.2022)

4 THE DEVELOPMENT PROPOSAL

4.1 Proposed Development Scheme

- 4.1.1 The Application Site covers a site area of about 2,550m². The Proposed Development comprises of a 1-storey building. The domestic gross floor area (“GFA”) is about 508m²; The proposed PR of 0.2 and BH of 1 storeys (about 5.4m) comply with the PR and BH restrictions stipulated under the prevailing OZP for “R(D)” zone. The major development parameters of the Proposed Development are provided in **Table 4.1**.

Table 4.1: Major Development Parameters

Site Area	About 2,550 m ²
Site Coverage	About 23.1%
Plot Ratio*	Not more than 0.2
Building Height	Not more than 6 m
No. of Blocks	3 1 residential block 2 ancillary blocks
No. of Storeys	1 (no basement floor)
Total Gross Floor Area* <i>Domestic Gross Floor Area</i> <i>Non-domestic Gross Floor Area*</i>	About 603 m² <i>About 508 m²</i> <i>About 95 m²</i>
Flat Size	About 508 m ²
Private Open Space	About 1,960 m ²
No. of Private Car Parking Spaces	2 nos. (2.5 x 5.0 m)

**Non-domestic GFA/ Plot Ratio for ancillary uses (including Security and guard room, E&M and Potable water pump room) to be disregarded in GFA/ Plot Ratio calculation according to the OZP subject to approval of the building authority*

4.2 Proposed Excavation of Land

- 4.2.1 The Site is currently sloping from North to South at +20.36mPD to +17.81mPD according to the Topographic Survey Plan (**Annex 4** refers). The proposed excavation of land serves for site formation works for the proposed house and a swimming pool designed due to the uneven leveling of the Application Site. The proposed excavation of land aims to unify the ground level together with site foundation works. The excavated materials would be backfilled into the Site.
- 4.2.2 The proposed excavation of land includes an area of about 2,550m²; the depth of excavation is about 2m; the volume for excavation is about 5,099.0m³.
- 4.2.3 The proposed excavation is of a minimal scale and will not involve extensive clearance of existing natural vegetation, affect the existing natural landscape, or cause any adverse impact on the surrounding environment.

4.3 Technical Considerations

Traffic Considerations

- 4.3.1 Since the Proposed Development involves only one residential unit, the traffic generation/attraction rates resulting from the Proposed Development shall be deemed negligible demonstrated on the Traffic Review Report (**Annex 5** refers). The provision of private car parking space and motorcycle parking space within the Site meeting the parking standard stipulated on the Hong Kong Planning Standards and Guidelines (“HKPSG”). Under HKPSG Chapter 8 – Internal Transport Facilities, “Up

to 1 car parking space for each standard NTEH (65m²), with 10-15% of provision for overnight goods vehicles.". The provision of 2 car parking space meets the standard and is thus considered appropriate.

- 4.3.2 As the existing local track will remain to be the vehicular access to/from the Application Site. The Applicant had obtained consent of the owners of Lots 182 S.A ss1, 182 S.A ss2 and 184 in D.D. 128 for using the existing local track, which falls within three private lots as vehicular access.

Drainage Considerations

- 4.3.3 A Drainage Impact Assessment ("DIA") has been conducted to assess the potential drainage impacts caused by the proposed development and to recommend mitigation measures to alleviate the potential impacts (**Annex 5** refers). Despite the Site is not served by any form of public drainage facility under Drainage Services Department ("DSD"), the surface runoff from the Site is possible to be discharged to the existing U-channel located on the south-east of the Site.
- 4.3.4 The DIA has demonstrated that the U-channel is able to catch all runoff from the Site and identified catchments. Furthermore, drainage analysis of the DIA has demonstrated that the Proposed Development would not cause adverse drainage impacts nor increase flooding susceptibility to the surrounding area.

Sewerage Considerations

- 4.3.5 A Sewerage Impact Assessment ("SIA") has been conducted to assess the potential sewerage impact arising from the proposed development and recommend mitigation measures to alleviate the potential impacts (**Annex 7** refers). As the Site is not served by any public sewer, installation of a Septic Tank System ("STS") is proposed for sewage treatment to ensure a proper discharge of sewage for the best protection to the public and the environment.
- 4.3.6 The installation of STS will be properly sited, designed, constructed and operated and maintained in accordance with the "Guidance Notes on Discharges from Village Houses" and "Drainage Plans subject to Comment by the Environmental Protection Department (ProPECC PN 5/93)" published by the EPD. The SIA has demonstrated that the sewerage impact arising from the Proposal is acceptable and would not bring adverse impact to the environment.

4.4 Environmental Considerations

- 4.4.1 An Environmental Assessment ("EA") has been conducted to predict and assess the potential air quality, noise and water quality impacts generated upon the Development with waste management mitigation measures proposed.

Air Quality

- 4.4.2 An Air Quality Impact Assessment ("AQIA") was carried out to assess the potential air quality impact arising from the proposed development during construction and operation phase with the assessment area 300m from the Application Site (**Annex 8** refers). The assessment is based on the prevailing Hong Kong Air Quality Objectives ("AQOs") by the stipulated by the Environmental Protection Department ("EPD").
- 4.4.3 Potential air quality impact is mainly from the fugitive dust and smoke emission during the construction stage. As the Proposed Development is proposed for residential use, no air pollutants emission is expected during operation phase.
- 4.4.4 Proper mitigation measures including compliance of requirements listed in the Schedule of the *Air Pollution Control (Construction Dust) Regulation*, *Air Pollution Control (Smoke) Regulation* and *Air Pollution Control (Non-road Mobile Machinery) ("NRMMs") (Emission) Regulation* of Air pollution

Control Ordinance ("**APCO**") for construction dust, dark smoke emission and NRMMs respectively. Besides, there are no chimneys identified within 300m from the site boundary.

Noise

- 4.4.5 A Noise Impact Assessment ("**NIA**") was carried out to assess the potential noise impact arising from the proposed development during construction and operation phase from the Application Site (**Annex 8** refers).
- 4.4.6 During the construction phase, it is anticipated that general construction works with the use of powered mechanical equipment ("**PME**") shall be the primary noise source from the Site. Noise mitigation measures are proposed with reference to the Practice Notes for Professional Persons (ProPECC 2/93) Noise from Construction Activities. During the operation phase, potential fixed plant noise is mainly from building service equipment and mechanical ventilation provisions for the plant room which will be fully enclosed by building structure. Furthermore, as demonstrated on the report, no road traffic noise impact is anticipated.

Water Quality

- 4.4.7 The EA addresses the potential sources of water quality impacts associated with the construction and operation phases of the Proposed Development with reference to the Water Pollution Control Ordinance ("**WPCO**") and its Technical Memorandum. A water sensitive receiver ("**WSR**") located within the Proposed Development site area 300m was identified.
- 4.4.8 During construction phase, the drainage and sewage generated from construction activities will be managed with water pollution control measures. The effluent discharge shall be in compliance with the discharge license requirements and the Technical Memorandum under WPCO. During operation phase, the proposed STS shall collect all the sewage. With a properly designed sewerage and drainage system, no insurmountable water quality impacts would be generated from operation of the Proposed Development.

Waste Management

- 4.4.9 The EA identifies the types of wastes that are likely to be generated during the construction and operation phases and evaluates the associated waste management implicants from the identified waste types. Waste Disposal Ordinance and relevant waste management regulations and guidelines are referenced in proposing the identified or abandoned substances.
- 4.4.10 During the construction phase, the Construction and Demolition ("**C&D**") materials, chemical waste and general refuse generated during the course of the works shall be sorted and disposed according to the Land (Miscellaneous Provisions) Ordinance and Waste Disposal (Chemical Waste) (General) Regulations. A Waste Management Plan ("**WMP**") shall be prepared by the Contractor and submitted to Architect/ Engineer for approval before the commencement of construction works upon the approval of this submitted planning application.
- 4.4.11 During the operation phase, general refuse generated from residents of the Proposed Development will be collected at the refuse collection point within the Site for further collection. The management practice will comply with statutory requirements and in line with Government's position on waste minimization, practice of avoiding and minimizing waste generation and waste recycling as far as possible. It is anticipated that the amount of general refuse to be generated from the operation

phase is small and the potential environmental impacts are expected to be minimal and not adverse to the vicinity.

4.5 Open Space and Landscape Aspects

- 4.5.1 The Proposed Development will provide about 1,960m² open-air space on ground and roof level, including the Lawn, the Garden Area and the Swimming Pool for leisure and recreational activities. No Old and Valuable Tree and protected tree species are anticipated but two trees are found within the Site as shown in the Survey Plan (**Annex 4** refers). The proposed house and excavation works do not anticipate any tree loss and tree felling at the Site. The Applicant would ensure the current conditions of the trees and conduct further study of the retaining and transplanting feasibility within the Site. Upon completion of the proposed house, greenery and landscaping will be provide with the consideration of heavy standard trees if appropriate, to enhance the existing landscape. A detailed landscaping proposal will be provided in the later stages of the detailed design upon approval of this Application.

5 PLANNING JUSTIFICATIONS

5.1 Wholly In Line with the Planning Intentions of R(D) Zone

5.1.1 As stipulated in the Notes of the OZP, the Application Site falls within an area designated “R(D)” Zone of which the planning intention is *“primarily for improvement and upgrading of existing temporary structures within the rural areas through redevelopment of existing temporary structures into permanent buildings. It is also intended for low-rise, low-density residential developments subject to planning permission from the Board”*.

5.1.2 The Proposed Development conforms with the development restrictions of the subject “R(D)” under the prevailing OZP, i.e. maximum PR of 0.2 and maximum BH of 2 storeys (6m). The Proposed Development is therefore in line with the intensity and built form of existing structures within the “R(D)” zone. That said, given the above-mentioned development scale, adverse visual impact by the proposed development is unlikely to be expected.

5.2 Opportunity to Phase Out Non-Conforming Uses in R(D) Zone

5.2.1 Although the “R(D)” zone is primarily intended for low-rise, low density residential developments, the Application Site is currently sitting in an intermix of fallow land, open storage yards and temporary structures.

5.2.2 To respect the planning intention of “R(D)” zone, the temporary recyclable collection centre would be replaced upon approval and completion of the Proposed Development in support of the low-rise, low-density residential developments. This presents an opportunity to gradually phase out the non-conforming and obsolete temporary uses within the “R(D)” zone, so as to make way for potential low-rise residential developments.

5.2.3 In addition, the Application Site is located outside the study boundary of the prevailing planning area of Hung Shui Kiu / Ha Tsuen New Development Area² (“**HSK/HT NDA**”) which implies the Proposed Development will not jeopardise the long-term planning of the new development area. Despite the government has announced the Northern Metropolis Development Strategy in 2021, the Site is also situated within the conceptual boundary of Northern Metropolis. As the Application Site is comprised of a relatively small site area and the Proposed Development is in line with the planning intention of the subject “R(D)” zone under the prevailing OZP for low-rise, low-density residential developments. Therefore, the approval of the Proposed Development shall not set an undesirable precedent as the Proposed Development shall phase out the undesirable open storage uses in the vicinity.

5.3 Not Incompatible with The Surrounding Rural Setting

5.3.1 The Proposed Development is a low-rise, low-density residential development with the maximum building height not more than about 6m which is considered compatible with its surrounding rural township environment. The proposed development intensity does not anticipate any adverse visual impact to the surroundings.

5.3.2 Opportunity have also been taken to enhance the design of the Proposed Development in various aspects, including adopting a lower site coverage and a more organic building design to soften the edge of the Proposed Development. The incorporation of the landscape treatments will contribute

² Development Bureau, Hung Shui Kiu/Ha Tsuen New Development Area, Revised Recommended Outline Development Plan, <https://hsknda.hk/the-new-development-area/>

to breaking the hard building lines of the Proposed Development and further enhance the compatibility with its surroundings.

5.4 Direct Response to the Government’s Housing Policy

- 5.4.1 The Proposed Development is in line with government’s policy to provide housing supply as stipulated in the latest Policy Address³. It has been the Government’s ongoing effort in releasing development potential such that households could meet their diverse housing needs. Yet, the shortfall of housing remains an acute problem in Hong Kong. That said, to meet the aspirations of all social class, housing delivery in the private sector should not be neglected.
- 5.4.2 The Proposed Development is a direct response to the Government’s housing policy. The Proposed Development will provide additional residential unit to the private housing market, at the same time better utilizing scarce land resources.

5.5 No Adverse Environmental and Engineering Impact

- 5.5.1 The Proposed Development is considered small in terms of development scale with maximum BH not more than 6m and maximum PR not more than 0.2. The proposed excavation of land is of minimal scale and serves the purpose for necessary site formation works. As the Site is currently hard paved without any existing vegetation, no adverse environmental or landscape impacts are anticipated for the Site or the surroundings.
- 5.5.2 Based on the findings of the Traffic Review Report (**Annex 5** refers), Drainage Impact Assessment (**Annex 6** refers), Sewerage Impact Assessment (**Annex 7** refers) and Environmental Assessment (**Annex 8** refers) appended in this Planning Statement, insurmountable traffic, drainage, sewerage and visual impact arising from the Proposed Development is not anticipated.

³ The Chief Executive's 2021 Policy Address, <https://www.policyaddress.gov.hk/2021/eng/pdf/PA2021.pdf>

6 CONCLUSION

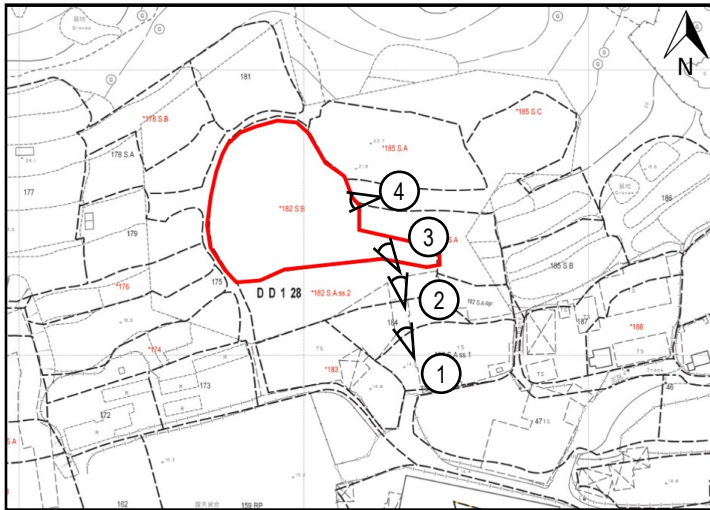
- 6.1.1 This Planning Statement is submitted to the Board in support of the Proposed House and Excavation of Land at Lot 182 S.B in D.D.128, Ha Tsuen, Yuen Long. This Planning Statement has provided background information and planning justifications in support of the Proposed Development.
- 6.1.2 As detailed throughout this Planning Statement, the proposed development is well justified on the grounds that:-
- Wholly In Line with the Planning Intentions of R(D) Zone;
 - Opportunity to Phase Out Non-Conforming Uses in R(D) Zone;
 - Not Incompatible with The Surrounding Rural Setting;
 - Direct Response to the Government's Housing Policy; and
 - No Additional Adverse Traffic and Environmental Impacts Anticipated.
- 6.1.3 In view of the above planning justifications in this Planning Statement, we respectfully request the Board Members to give favourable consideration on this planning application.

September 2023

PlanPlus Consultancy Limited

Annex 1

Site Photos



1) View from the south-east of the Application Site



2) View from the south-east of the Application Site



3) View from the south-east of the Application Site



4) View from the east of the Application Site

Legend:

 **Application Site**
(For identification Only)



Figure Title:

Site Photos

Project No.:
PPC-PLG-10082

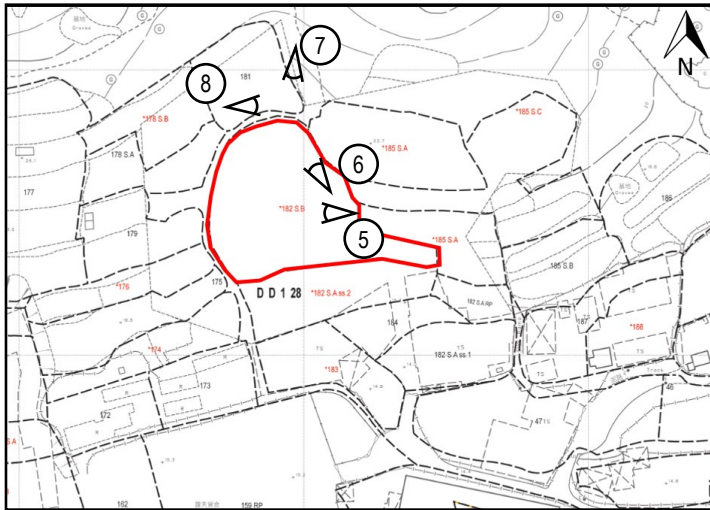
Project:

Section 16 Application for Proposed House Development and Excavation of Land in "Residential (Group D)" Zone at Lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Figure:
1A

Scale:
N/A

Date:
August 2022



5) View from the east of the Application Site



6) View from the north-east of the Application Site



7) View from the north of the Application Site



8) View from the north of the Application Site

Legend:

 **Application Site**
(For identification Only)



Figure Title:

Site Photos

Project No.:
PPC-PLG-10082

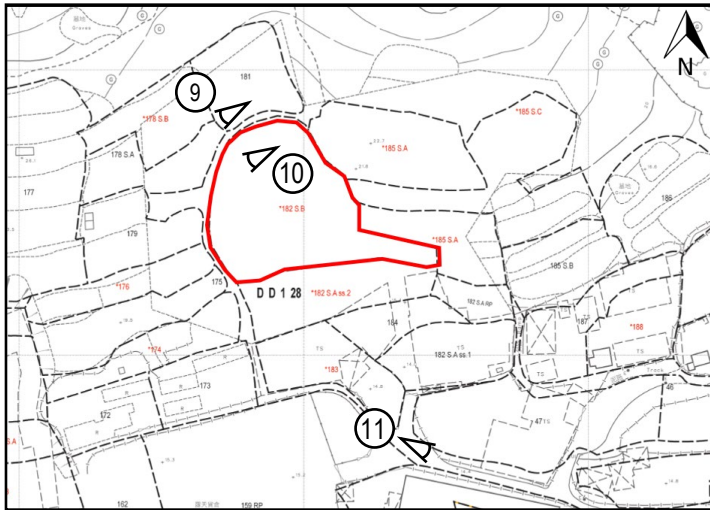
Project:

Section 16 Application for Proposed House Development and Excavation of Land in "Residential (Group D)" Zone at Lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Figure:
1B

Scale:
N/A

Date:
August 2022



9) View from the north of the Application Site



10) View from the north of the Application Site



11) View from the south of the Application Site

Legend:

 **Application Site**
(For identification Only)



Figure Title:

Site Photos

Project No.:
PPC-PLG-10082

Project:

Section 16 Application for Proposed House Development and Excavation of Land in "Residential (Group D)" Zone at Lot 182 S.B in D.D. 128, Ha Tsuen, Yuen Long, New Territories

Figure:
1C

Scale:
N/A

Date:
August 2022