

**METRO PLANNING COMMITTEE
OF THE TOWN PLANNING BOARD**

**MPC Paper No. 1/13
For Consideration by the
Metro Planning Committee on 25.1.2013**

**FURTHER CONSIDERATION OF THE REVISED PLANNING BRIEF FOR
THE URBAN RENEWAL AUTHORITY
STAUNTON STREET/WING LEE STREET DEVELOPMENT SCHEME**

**Further Consideration of the Revised Planning Brief for
the Urban Renewal Authority Staunton Street/Wing Lee Street Development Scheme**

1. Purpose

This paper is to:

- (a) report to the Metro Planning Committee (MPC) the results of the consultation with the Central and Western District Council (C&WDC) on the revised planning brief (PB) for the Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme (H19); and
- (b) seek Members' endorsement of the revised PB at **Attachment I** for providing guidance for future development at the site.

2. Background

- 2.1 On 21.9.2012, MPC considered the revised PB for the site and agreed that it was suitable for consultation with the C&WDC. The amendments were mainly related to exclusion of Site A, to make reference to the latest scheme of Sites B and C, and to reflect the latest planning consideration. A copy of the MPC Paper No. 8/12 and relevant extract of the minutes of the MPC meeting are at **Attachments II and III** respectively. **Annex II of Attachment II** shows the location of Sites A, B and C.
- 2.2 The proposed uses and major development parameters for the site as set out in the revised PB are summarized as follows:

Site Area	Gross Site Area: about 1,997m ² Net Site Area: about 1,285m ²
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Proposed Use	Residential/Commercial/Public Open Space
Maximum Gross Floor Area (GFA)	6,117m ² (equivalent to a plot ratio (PR) of about 4.76 based on the net site area)
Maximum Building Height (BH)	120mPD (main roof level)
Open Space Provision	Public open space (POS) of not less than 474m ² shall be provided (including not less than 390m ² uncovered POS)

2.3 The Food, Environment, Hygiene & Works Committee (FEHWC) of the C&WDC was consulted on 18.10.2012. A copy of the relevant extract of minutes of the meeting of the FEHWC is attached at **Attachment IV**.

3. C&WDC's Views on the Revised PB

In general, the C&WDC had no adverse comment on the revised PB but expressed a number of concerns mainly on the development intensity of the proposed development, provision of POS and preservation of Site C. Their views are summarized as follows:

Development Intensity and BH

(a) while the C&WDC noted that the PR and BH had been significantly reduced, there was view that the development intensity and BH should be further reduced;

Open Space Provision

(b) the POS should be open to the public 24 hours a day instead of "at reasonable hours" as stated in the revised PB;

(c) the maintenance of POS should not be a burden to future residents;

Pedestrian Connections

(d) barrier-free access should in any case be provided rather than only "if practicable" as stated in the revised PB;

(e) there should be control on preservation of existing street fabric of the area;

Urban Design & Landscaping Considerations

(f) the intention to preserve Shing Wong Street to prevent it from being built-over

should be clearly stated;

- (g) there should be mechanism to ensure the design and landscape requirements be carried out and there should be criteria for assessing the requirements;
- (h) the minimum requirement for green coverage should increase from 20% to 30%;
and

Site C

- (i) URA should work closely with the owners in preserving the ambience and tenement buildings at Site C.

4. Planning Department's Responses to C&WDC's Views on the Revised PB (Attachment I)

Development Intensity and BH

- 4.1 The maximum PR and BH under the current PB is 8 and 150mPD respectively. URA has suggested to reduce the PR and BH upon designing the development scheme. In considering URA's application on 19.3.2010, MPC agreed that the development parameters and layout for Sites B and C (i.e. a 13-storey/90.77mPD and a 20-storey/119.55mPD residential block with lower floors accommodating commercial/retail uses with a total GFA of 6,117m²) were acceptable.
- 4.2 The PR of 4.76 (based on the maximum GFA of 6,117m² and net site area of 1,285m²) suggested under the revised PB (Item 1(c) of Section B) is already below the permissible intensity under Building (Planning) Regulations (B(P)R). In terms of height, while the maximum BH is reduced from 150mPD to 120mPD (Item 1(d) of Section B), a stepped height profile along Shing Wong Street has to be created to respect the stepped street ambience. The proposed development parameters are considered compatible with the development intensity and height of buildings in the surrounding area.

Open Space Provision

- 4.3 The requirement to provide a POS of not less than 474m² is specified in the revised PB. URA has agreed, at its own cost, to take up the management and maintenance responsibilities of the POS, and the POS should be open to public free of charge. This arrangement has been stated in the revised PB (Item 2(a) of Section B).

- 4.4 To allow flexibility in the detailed design of the POS while retaining appropriate control over the opening hours, it is stated in the revised PB that the POS should open “at reasonable hours” (Item 2(a) of Section B). Given that the subject site is located in a residential neighbourhood, the opening hours of the POS will need to take into account issues like the security and safety concerns of local residents and the facilities to be provided thereon. The opening hours, management and maintenance responsibilities of the POS to be borne by URA should be decided in land processing stage and governed/enforced through the land lease conditions.

Pedestrian Connections

- 4.5 Regarding the street fabric, as stated in the revised PB (Items 3(b) and 4(a) of Section B), the applicant is required to enhance the pedestrian facilities and circulation, as well as to respect the existing routes as far as possible.
- 4.6 However, given the need to maintain a vibrant street frontage and to preserve existing distinct stepped streets character of the area, it might not be feasible and/or desirable to incorporate barrier-free design compulsorily to all the pedestrian networks. Instead, initiatives for barrier-free design is encouraged whenever practicable (Item 3(b) of Section B).

Urban Design & Landscaping Considerations

- 4.7 The statement related to preservation of Shing Wong Street was proposed to delete as a result of the exclusion of Site A including Shing Wong Street. However, in view of DC Members’ concern, a footnote is proposed in Item 4(a) of Section B of the revised PB, stating that the Shing Wong Street must be preserved and no structure is allowed to build over Shing Wong Street, though Shing Wong Street falls outside the boundary of the development scheme.
- 4.8 The PB is intended to provide broad planning and urban design framework for URA to prepare MLP for consideration by the relevant Government departments. Relevant departments would assess the detailed design upon the MLP submission. Besides, the proposed development will also be subject to scrutiny upon building plans submission.
- 4.9 According to the Sustainable Buildings Design (SBD) Guidelines (APP-152) promulgated by the Buildings Department in April 2011, new building developments with site areas of 1,000m² or more are required to meet a minimum greening requirement of some 20%. For sites of two hectares or above, a

minimum greenery coverage of 30% would be required. The stipulation of a minimum 20% green coverage under Item 4(d) of Section B of the revised PB is therefore in line with the SBD Guidelines given that the gross site area is of 1,997m². Furthermore, URA has been required to optimize greening opportunities in the developments wherever possible (Item 4(d) of Section B).

Site C

4.10 The URA Staunton Street/Wing Lee Street project was first made known to the public in 1998 and the Development Scheme Plan (DSP) had gone through a due statutory planning process of plan exhibition and public consultation since its first gazettal in 2003. In view of the unique circumstances, both MPC and the Board had discussed this project in detail at various meetings. While the Board had decided to excise Site A from the DSP for preservation purpose, the Board in considering the representations asking to excise Site C in January 2012 had fully deliberated relevant considerations and confirmed that Site C should be maintained within the DSP as part of the comprehensive development scheme. The planning intention of the “Comprehensive Development Area” zone for the area is to achieve environmental improvement through comprehensive redevelopment, restructuring the street pattern, promoting efficient land use and providing community facilities/POS.

5. Planning Department’s Views

- 5.1 Based on the assessments in paragraph 4 above, it is recommended that the revised PB which was considered by MPC on 21.9.2012 be further amended by adding a footnote stating that the Shing Wong Street must be preserved and no structure is allowed to build over Shing Wong Street. The proposed amendment is highlighted (with additions in *bold and italics* and deletions ~~crossed-out~~) in **Attachment I**.
- 5.2 Given that the requirements in the revised PB have generally covered other issues raised by FEHWC of the C&WDC, no other amendments is considered necessary. Members are invited to take note of C&WDC’s views. The C&WDC will be further consulted on the development proposal at the MLP submission stage.
- 5.3 Subject to the endorsement of the revised PB by MPC, the PB will be passed to URA to provide guidance for the future development and serve as a reference for the submission of planning application for the site.

6. Decision Sought

Members are invited to:

- (a) note the views of the C&WDC as summarized in paragraph 3 above and detailed in **Attachment IV**; and
- (b) endorse the revised PB at **Attachment I**.

7. Attachment

Attachment I Revised PB for the URA Staunton Street/Wing Lee Street Development Scheme

- **Plan 1** Location Plan
- **Plan 2** Site Plan
- **Plan 3** Streets/Lanes Excluded from Site Area Calculation
- **Plans 4 & 5** Site Photos

Attachment II MPC Paper No. 8/12

Attachment III Extract of the Minutes of the MPC Meeting held on 21.9.2012

Attachment IV Extract of the Minutes of the FEHWC of the C&WDC meeting held on 18.10.2012

**PLANNING DEPARTMENT
JANUARY 2013**

ENDORSED

Attachment I of
MPC Paper No. 1/13

REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY
DEVELOPMENT SCHEME AT
STAUNTON STREET / WING LEE STREET
HONG KONG

DRAFT



**REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY DEVELOPMENT SCHEME AT
STAUNTON STREET/WING LEE STREET (H19)
(ENDORSED BY THE TOWN PLANNING BOARD ON 25.1.2013)**

A. Background Information

Item	Particulars	Remarks
1. Location	<p>The Development Scheme Area (the Area), comprising two major portions, is generally bounded by Staunton Street, Shing Wong Street, Wa In Fong East and Aberdeen Street.</p> <p>A number of internal streets are located within the Area including Wa In Fong West, part of Wa In Fong East and Chung Wo Lane.</p>	Plans 1 and 2
2. Zoning	<p>The Area is zoned “Comprehensive Development Area” (“CDA”) on the Approved Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme Plan No. S/H3/URA1/4.</p> <p>A Master Layout Plan (MLP) should be submitted to the Town Planning Board for consideration.</p>	Plan 1
3. General Condition of the Area	<p>The Area is pre-dominantly residential in nature with a few retail shops on the ground floor of the existing properties.</p> <p>Although renovation works have been carried out by some owners on their properties within the Area, many of the existing buildings are still in deteriorating or poor conditions.</p> <p>Some of the buildings have illegal extensions, and the internal services lanes are narrow with poor environmental and hygiene conditions.</p>	

B. Planning Parameters

Item	Particulars	Remarks
<p>1. Major Development Parameters</p> <p>a) Site Area</p> <p>b) Proposed Use</p> <p>c) Maximum Gross Floor Area (GFA)</p> <p>d) Maximum Building Height</p>	<p>Gross Site Area: about 1,997m² Net Site Area: about 1,285m² (excluding the respective sections of Chung Wo Lane, Wa In Fong East, Wa In Fong West and other existing services lanes within the Scheme boundary)</p> <p>Residential/Commercial/Public Open Space</p> <p>6,117m² (equivalent to a PR of about 4.76 based on the net site area)</p> <p>120mPD (main roof level)</p>	<p>Plan 3</p> <p>Subject to verification upon setting out of the site</p> <p>Commercial uses and GIC facilities, if any, are accountable for GFA calculation.</p> <p>In complying with the height restriction, the principles of not intruding into the 20% building free zone below the ridgelines when viewed from the vantage point at the West Kowloon Cultural and Arts District and not reducing the water surface of Victoria Harbour when viewed from the Lion Pavilion at Victoria Peak should be strictly adhered to. The height of the development should respect the character of the neighbourhood and be compatible with its surrounding area.</p> <p>The building heights of the residential towers abutting Shing Wong Street should be arranged in a stepped building height profile.</p> <p>The proposed building heights are subject to verification by a Visual Impact Assessment</p>

Item	Particulars	Remarks
		(VIA). Minor relaxation of the height restriction may be allowed subject to strong justifications.
2. Open Space Provision a) Public Open Space	Public open space (POS) of not less than 474m ² shall be provided (including not less than 390m ² uncovered POS).	Appropriate configuration and adequate frontage/connection onto public streets should be incorporated into the overall design of the POS. The URA shall at its own cost take up the management and maintenance responsibilities of the POS. The POS should be open to the public free of charge at reasonable hours.
b) Private Open Space	Not less than 1m ² per person private local open space (LOS) for residents of the Area should be provided.	
3. Transport Requirements a) Lane Closure/ Diversion b) Pedestrian Facilities and Circulation	A Traffic Impact Assessment (TIA) should be prepared and submitted as part of the MLP submission at the planning application stage to the satisfaction of Transport Department (TD). Some of the existing service lanes may be extinguished. Footpath along Staunton Street should be widened, including a pavement set-back at G/F to align with the adjacent development, to the satisfaction of TD. North-south pedestrian route (between Caine Road and Staunton Street) should be provided to the satisfaction of TD and/or	The TIA should take into account major proposed and committed developments in the surrounding areas. Early arrangement should be made with the Secretary for Transport and Housing for gazettal of the closure of lanes/streets. The proposed pedestrian network should offer safe and convenient routes for pedestrians while respecting the existing routes (e.g. to Hollywood Road) within the neighbourhood. Barrier-free design should be

Item	Particulars	Remarks
	Highways Department.	incorporated within the pedestrian network to the site if practicable.
c) Parking and Loading/Unloading Facilities	<p>Provision should be justified by the TIA and subject to the agreement of TD. Reference should be made to the Hong Kong Planning Standards & Guidelines (HKPSG).</p> <p>A joint public lay-by (with the adjacent development) of about 35m in length should be formed fronting Staunton Street to the satisfaction of TD.</p>	All transport facilities relevant to the Development Scheme should be properly planned with adequate sightline/manoeuvrability and consideration to the future potential developments around the area.
<p>4. Urban Design & Landscaping Considerations</p> <p>a) Urban Design</p>	<p>The Development Scheme should take into account the following urban design considerations, where appropriate:</p> <ul style="list-style-type: none"> - enhancing the pedestrian networks between the POS and the adjoining areas; - respecting and being commensurate in scale with the surrounding heritage features/setting, and to preserve views to the adjacent historic sites, i.e. the Former Police Married Quarters and the Bridges Street Market; - designing the street frontage along Staunton Street with due regard to the Dr. Sun Yat-sen Historical Trail (Plan 2); - preserving the views towards Victoria Harbour from the Lion Pavilion at Victoria Peak and the ridgelines from the West Kowloon Cultural and Arts District's vantage point and respecting local setting; - minimizing the size and height of the podium structure as far as possible; - adopting a stepped building height profile; 	<p>Reference should be made to Chapters 4 and 11 of the HKPSG and according to the Director of Planning's advice.</p> <p>If the applicant wants to apply for GFA concessions, the applicant is required to follow the Sustainable Building Design (SBD) Guidelines promulgated in the Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-152 issued by the Building Authority. The applicant is encouraged to demonstrate that the development complies with the guidelines taking into account local circumstances.</p> <p>However, the applicant is encouraged to maintain a vibrant street frontage, meanwhile to preserve existing distinct character and align with the existing frontage,</p>

Item	Particulars	Remarks
	<ul style="list-style-type: none"> - providing sensitive layout and disposition to promote air ventilation and avoiding adverse impact on pedestrian wind environment; - providing a minimum setback of 2m from the lot boundary above 15m measured from mean street level abutting Aberdeen Street; and - providing sufficient separation between building blocks within the Area and from those on adjoining sites to promote visual permeability. 	facing Shing Wong Street ¹ , and to preserve and revitalize 88-90 Staunton Street to preserve the local setting along Staunton Street.
b) Air Ventilation Aspect	An Air Ventilation Assessment (AVA) should be carried out in accordance with the Technical Circular on Air Ventilation Assessment and submitted as part of the MLP submission at the planning application stage.	In preparing the AVA, reference should be made to the Expert Evaluation for the Sai Ying Pun & Sheung Wan Area, in particular Aberdeen Street which act as one of the major north-south air paths. The proposed layout and building disposition on the Area should be carefully designed to promote air ventilation.
c) Visual Aspect	A VIA should be prepared to demonstrate the building height and design of the proposed development would minimize any adverse impact on the surrounding areas.	In preparing the VIA, reference should be made to the Town Planning Board Guidelines on Submission of VIA for Planning Applications to the Town Planning Board.
d) Landscaping	<p>A Landscape Master Plan (LMP) should be submitted as part of the MLP submission at the planning application stage, with the incorporation of the following landscaping requirements:</p> <ul style="list-style-type: none"> - prepare a comprehensive landscape proposal to promote greening and soften the building mass; 	<p>In preparing the LMP, the applicant is encouraged to make reference to the Greening Master Plan for Sheung Wan published by the Government in formulation of planting theme and strategy.</p> <p>Reference should be made to</p>

¹ Shing Wong Street must be preserved and no structure is allowed to build over Shing Wong Street. To preserve existing distinct character and align with the existing frontage facing Shing Wong Street, in determining the maximum GFA for the site abutting Shing Wong Street, any floor space to be constructed or intended for use solely as green/amenity features and plant rooms, provided that such use and facilities are ancillary and directly related to the always permitted use, may be disregarded.

Item	Particulars	Remarks
	<ul style="list-style-type: none"> - existing trees within the Area should be preserved as far as possible; - optimize greening opportunities in the developments wherever possible. Landscape planting at street level, on podium/roofs and vertical greening on facades should be provided; - introduce high quality streetscape with tree planting and street furniture, enhance the visual connectivity amongst various activity nodes, provide a friendly pedestrian setting, and create a strong sense of place; and - a minimum coverage of 20% for greening at the Area shall be adopted. The greening can be at ground level, podium, rooftop, etc. Minimum half of the greening should be provided at grade or levels easily accessible to pedestrians (e.g. street level and/or podium accessible to the public). 	<p>the Public Open Space in Private Developments Guidelines, as well as the requirements and procedures as stipulated in Lands Administration Office Practice Note No. 7/2007 - 'Tree Preservation and Tree Removal Application for Building Development in Private Projects'.</p> <p>Tree planting should be maximized in the development where practicable, particularly, at street level and on podium level.</p>
<p>5. Environmental and Sewerage Considerations</p>	<p>An Environmental Assessment (EA) and Sewerage Impact Assessment (SIA) shall be prepared and submitted as part of the MLP submission at the planning application stage. It is required to address the potential environmental impacts, including traffic noise and emission impact, associated with the proposed development. Proposed mitigation measures should be incorporated as part of the MLP submission to the satisfaction of the Environmental Protection Department.</p> <p>Site investigation should be conducted to identify any land contamination at the site. If land contamination is found, remedial works should be undertaken to clean up the site prior to any redevelopment works.</p> <p>Relevant pollution control measures</p>	<p>For EA, reference should be made to the relevant guidelines and HKPSG. In the design and disposition of the building blocks, due regard should be given to mitigate traffic noise and emissions impact through careful design and disposition of the residential blocks or the provision of other mitigation measures to comply with the relevant requirements</p> <p>For SIA, reference should be made to the Guidelines for Estimating Sewage Flows for Sewerage Infrastructure Planning.</p>

Item	Particulars	Remarks
	Relevant pollution control measures should be implemented to minimize the environmental impacts on the nearby sensitive uses during construction.	
6. Drainage Consideration	<p>A Drainage Impact Assessment shall be prepared and submitted as part of the MLP submission at the planning application stage to the satisfaction of the Drainage Services Department (DSD).</p> <p>The existing public stormwater drains and sewers in the catchment area as well as the potential stormwater and sewage impacts of the future development should be studied, and any upgrading works should be designed and constructed at the developer's cost to the satisfaction of the DSD.</p>	Reference should be made to the relevant guidelines, HKPSG and the DSD's Stormwater Drainage and Sewerage Manuals.
7. Geotechnical Aspect	The proposed site is partly within the Mid-levels Scheduled Area and any works within this Area are subject to additional geotechnical controls. In particular, bulk excavation shall not be carried out below levels to be determined by the Building Authority as required in Building (Construction) Regulation 21. This control measure is necessary to minimize cumulative adverse effects of bulk excavation on the stability of the hillside generally.	

Plan 1

Location Plan

Plan 2

Site Plan

Plan 3

Streets/Lanes Excluded from Site Area Calculation

Plans 4 and 5

Site Photos

PLANNING DEPARTMENT

~~SEPTEMBER 2012~~ JANUARY 2013



**主題地點
SUBJECT SITE**

歷史地點保存作文化及康樂用途
HISTORICAL SITE PRESERVED
FOR CULTURAL AND RECREATIONAL USES

此區的土地用途地帶見市區重建局士丹頓街、永利街發展計劃圖。
FOR ZONING OF THIS AREA, REFER TO URBAN RENEWAL
AUTHORITY STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN.

文物地點作創意產業及有關用途
HERITAGE SITE FOR
CREATIVE INDUSTRIES AND RELATED USES

此區的土地用途地帶見土地發展公司卑利街／葛咸街發展計劃圖。
FOR ZONING OF THIS AREA, REFER TO LAND DEVELOPMENT
CORPORATION PEEL STREET / GRAHAM STREET DEVELOPMENT
SCHEME PLAN.

界線只作識別用
BOUNDARY FOR
IDENTIFICATION PURPOSE ONLY

位置圖 LOCATION PLAN

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

SCALE 1 : 5 000

METRES 100 0 100 200METRES

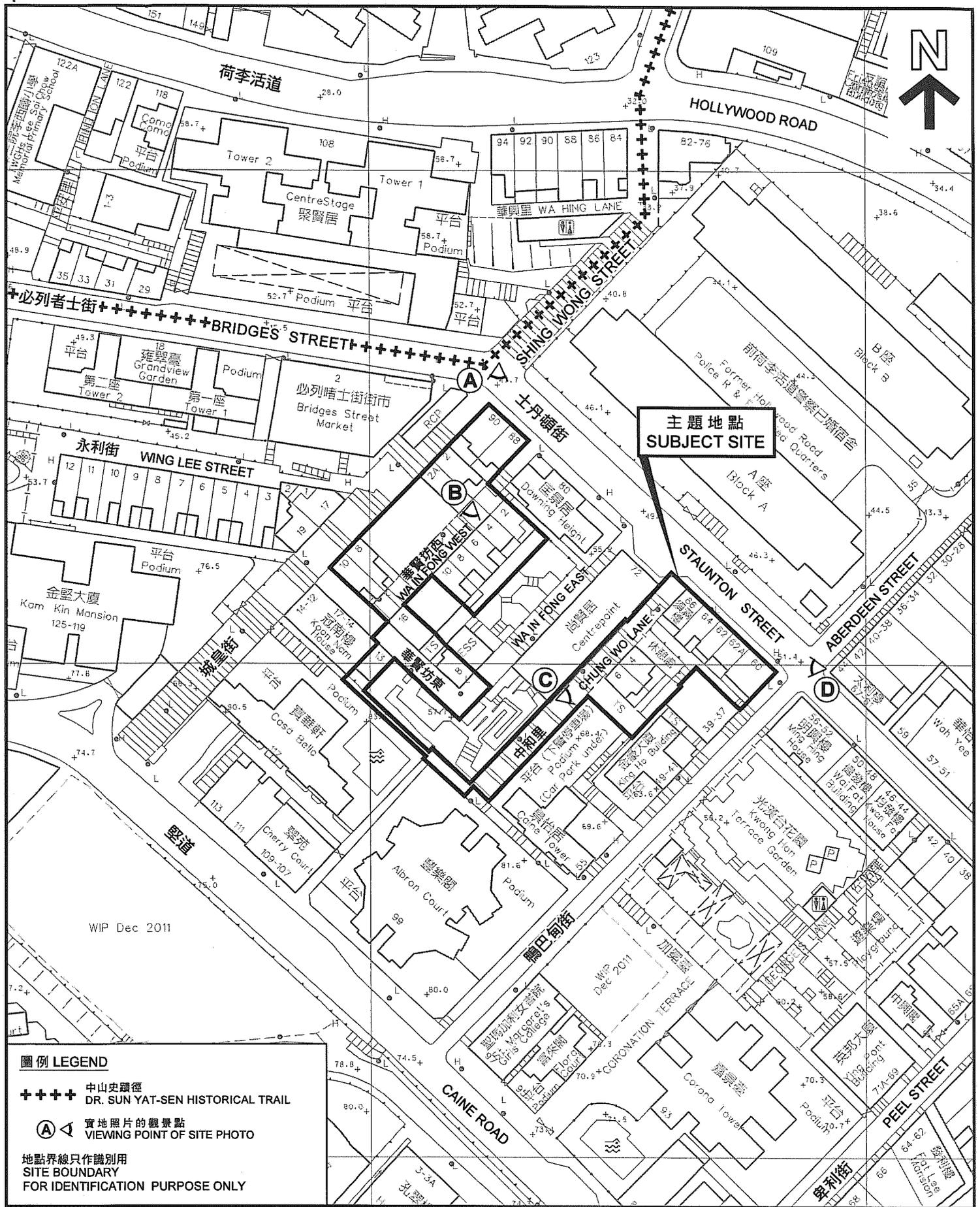
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PLANNING
DEPARTMENT



參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
1

本摘要圖於2012年8月29日擬備，
所根據的資料為於2012年5月8日
核准的分區計劃大綱圖編號S/H3/27
EXTRACT PLAN PREPARED ON 29.8.2012
BASED ON OUTLINE ZONING PLAN No.
S/H3/27 APPROVED ON 8.5.2012



圖例 LEGEND

++++ 中山史蹟徑
DR. SUN YAT-SEN HISTORICAL TRAIL

(A) 實地照片的觀景點
VIEWING POINT OF SITE PHOTO

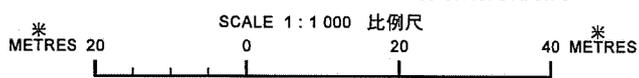
地點界線只作識別用
SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

平面圖 SITE PLAN

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

本摘要圖於2012年8月29日擬備，
所根據的資料為測量圖編號11-SW-8C
EXTRACT PLAN PREPARED ON 29.8.2012
BASED ON SURVEY SHEET No. 11-SW-8C

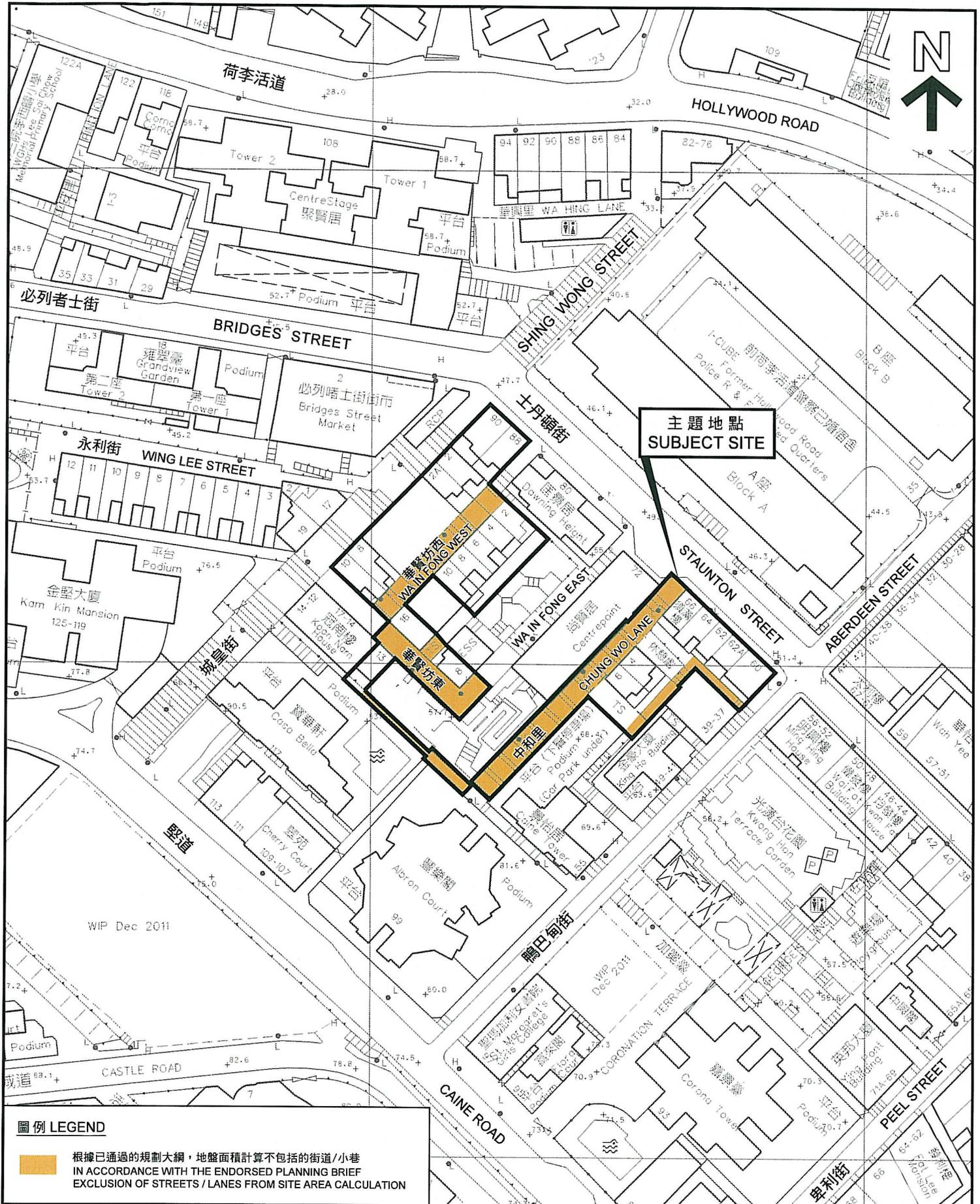


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DEPARTMENT**



參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
2



圖例 LEGEND



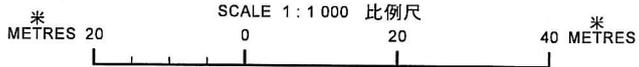
根據已通過的規劃大綱，地盤面積計算不包括的街道/小巷
 IN ACCORDANCE WITH THE ENDORSED PLANNING BRIEF
 EXCLUSION OF STREETS / LANES FROM SITE AREA CALCULATION

本摘要圖於2012年8月29日擬備，
 所根據的資料為測量圖編號11-SW-8C
 EXTRACT PLAN PREPARED ON 29.8.2012
 BASED ON SURVEY SHEET No. 11-SW-8C

平面圖 SITE PLAN

不包括在地盤面積內的街道/小巷
 STREETS / LANES EXCLUDED FROM SITE AREA CALCULATION

市區重建局士丹頓街 / 永利街發展計劃
 URBAN RENEWAL AUTHORITY
 STAUNTON STREET / WING LEE STREET DEVELOPMENT SCHEME

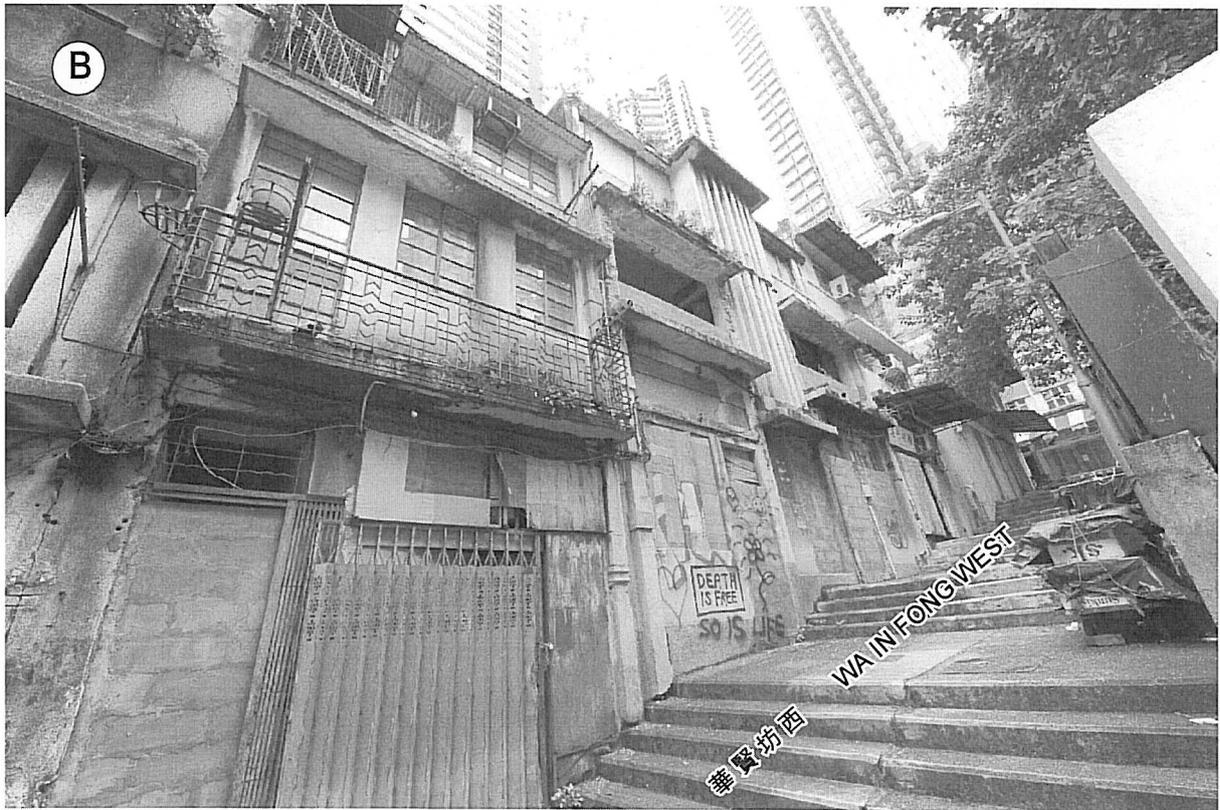


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參考編號
 REFERENCE No.
 M/H3/12/14

圖 PLAN
 3



實地照片 SITE PHOTOS

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

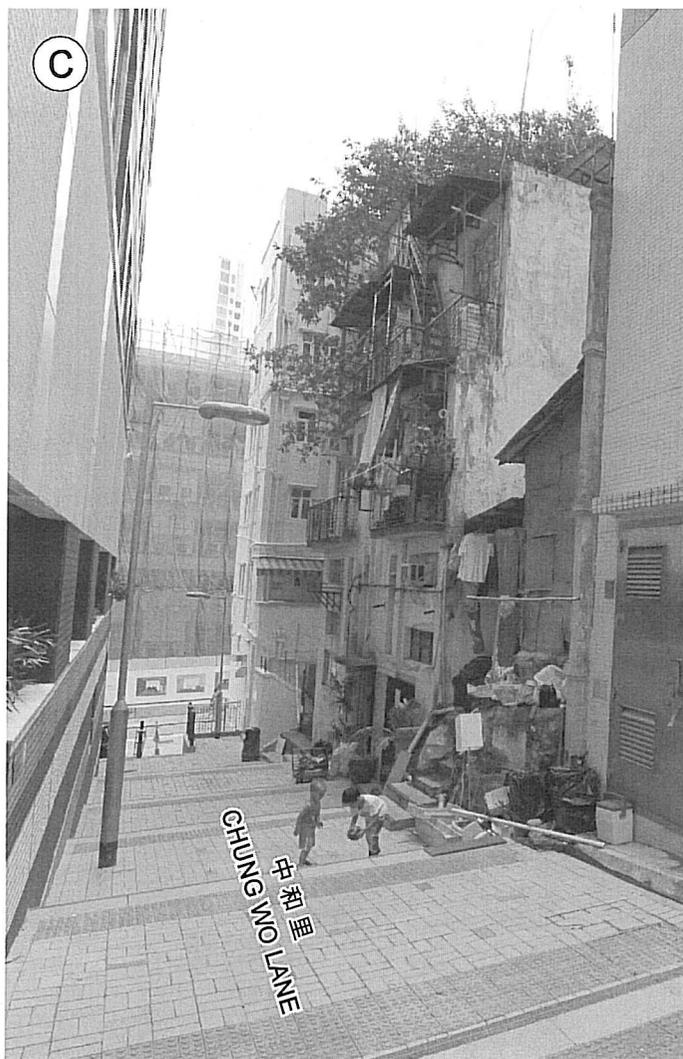
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參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
4

本圖於2012年8月30日擬備，所根據的資料為攝於2012年8月22日的實地照片
EXTRACT PLAN PREPARED ON 30.8.2012
BASED ON SITE PHOTOS TAKEN ON 22.8.2012



本圖於2012年8月31日擬備，所根據的資料為攝於2012年8月22日的實地照片
EXTRACT PLAN PREPARED ON 31.8.2012
BASED ON SITE PHOTOS TAKEN ON 22.8.2012

實地照片 SITE PHOTOS

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

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PLANNING
DEPARTMENT



參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
5

**MPC Paper No. 8/12
For Consideration by the
Metro Planning Committee on 21.9.2012**

**DRAFT REVISED PLANNING BRIEF FOR
THE URBAN RENEWAL AUTHORITY
STAUNTON STREET/WING LEE STREET DEVELOPMENT SCHEME**

**Draft Revised Planning Brief for
the Urban Renewal Authority Staunton Street/Wing Lee Street Development Scheme**

1. Purpose

This paper is to seek:

- (a) Members' comments on the draft revised planning brief (PB) for the Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme (H19) (Annex I); and
- (b) Members' agreement that the draft revised PB at Annex I is suitable for consultation with the Central and Western District Council (C&WDC).

2. The Site and Its Surroundings

- 2.1 The Development Scheme (**Plan 1 in Annex I**), with an area of about 1,997m², comprises 2 major portions generally bounded by Staunton Street, Shing Wong Street, Wa In Fong East and Aberdeen Street. It is mostly occupied by buildings of 3 to 6 storeys for residential use with shops and workshops on ground floor. Although renovation works have been carried out by some owners, many of the buildings are in deteriorating or poor conditions. Designated as "Comprehensive Development Area" ("CDA") on the Development Scheme Plan (DSP), a mixed-use development including residential, commercial and open space is envisaged. A Master Layout Plan (MLP) for the development of the scheme area is required to be submitted to Town Planning Board (the Board) for approval.
- 2.2 The surrounding area is predominately occupied by residential developments (**Plan 2 in Annex I**). Two private developments, Dawning Height (141.9mPD) and CentrePoint (138.4mPD), are located in between the two portions of the scheme area. High-rise private developments located in the vicinity of the

Scheme Area include CentreStage (162.6mPD), Casa Bella (181mPD), Albron Court (168.1mPD) and Kam Kin Mansion (155.9mPD). Located to the north across Staunton Street is the Former Police Married Quarters (FPMQ) on Hollywood Road.

3. Land Aspect

According to the District Lands Officer/Hong Kong West & South, Lands Department (DLO/HKW&S, LandsD), the lease restrictions of the Development Scheme Area are as follows:

Site	Lot No.	Development Restriction
88-90 Staunton Street, 2-10 Shing Wong Street, 8-13 Wa In Fong East and 2-16 Wa In Fong West	IL 2174, IL 2984, IL 3004 to IL 3010, IL 2994 R.P., IL 2995 R.P., IL 2996 s.A R.P., IL 2998 R.P. to IL 3002 R.P. and IL 3015 R.P.	Virtually unrestricted except offensive trade clause
60-66 Staunton Street, 4-6 Chung Wo Lane	IL 94 s.B, IL 94 s.H, IL 94 R.P. s.I, IL 94 s.D R.P. and IL 94 s.G ss.4 R.P.	Virtually unrestricted except offensive trade clause and rate & range clause
Adjoining Government Land (including the sitting-out area)		

4. Background

4.1 The URA Staunton Street/Wing Lee Street DSP No. S/H3/URA1/2 covering Sites A, B and C (**Annex II**) was approved by the Chief Executive in Council (CE in C) on 2.10.2007 under section 9(1)(a) of the Town Planning Ordinance (TPO). In parallel, the PB was prepared to guide the development of the project and set out the broad development parameters as reference. The C&WDC was consulted on the PB on 13.9.2007. The PB was subsequently endorsed by the Board on 23.11.2007 (**Annex III**).

4.2 Based on the PB endorsed by the Board, URA on 26.3.2008 submitted the planning application No. A/H3/381 for a proposed comprehensive residential and commercial development in the Development Scheme Area at a plot ratio (PR) of 8. On 24.11.2008, to echo the Chief Executive's Policy Address on revitalising the FPMQ on Hollywood Road opposite the application site, URA announced a revised plan with emphasis on heritage preservation. On 27.2.2009 URA withdrew the application and submitted another application No. A/H3/387 with an

overall PR of 4.5. Three residential blocks of 6, 13 and 28 storeys were proposed respectively for Sites A, B and C, with their lower floors accommodating commercial/retail uses. On 29.1.2010, URA proposed to further reduce the overall PR of the scheme to 3.9 by revising the development on Site C to a 20-storey building. However, the public comments received on URA's revised proposal shared a common view that the tenement buildings at Wing Lee Street (Site A) were historically valuable and deserved conservation. On 17.3.2010, URA further suggested an alternative approach to preserve the tenement buildings at Wing Lee Street. URA also proposed the Board to consider excising Site A from the DSP and rezoning it to an appropriate conservation/preservation zoning while Sites B and C would remain in the DSP.

- 4.3 In considering URA's application on 19.3.2010, MPC agreed that the preservation of all the tenement buildings at Wing Lee Street (Site A) was the right direction, and the development parameters and layout for Sites B and C (i.e. a 13-storey and a 20-storey residential block with lower floors accommodating commercial/retail uses with an overall PR of 4.76¹) were acceptable. The proposed scheme also involved preservation and revitalization of two tenement buildings within Site B at No. 88-90 Staunton Street. On 7.1.2011, the Board considered the further information submitted by URA and agreed that with the intention to preserve the existing character and ambience of Wing Lee Street, the whole of Site A, including Wing Lee Street and the Bridges Street Market, should be excised from the DSP.
- 4.4 On 8.7.2011, the draft URA Staunton Street/Wing Lee Street DSP No. S/H3/URA1/3, incorporating amendments mainly related to the excision of the Wing Lee Street area and the Bridges Street Market site (Site A) from the DSP, was exhibited under section 5 of the TPO. A total of 28 representations and 8 comments to the DSP and OZP were received. On 17.1.2012, after giving consideration to the representations and comments, the Board decided not to propose any amendment to the DSP to meet the representations. On 8.5.2012, the draft DSP was approved by the CE in C and renumbered as S/H3/URA1/4 (**Annex IV**), while the zoning of the site (i.e. "CDA") remains unchanged.

¹ Based on net site area of 1,285m²

5. Major Changes to the Endorsed PB

As a result of the exclusion of Site A (see paragraph 4.4 above), and the URA's revised scheme for Sites B and C (see paragraph 4.3 above), the endorsed PB needs to be reviewed. Opportunity is also taken to set out the latest planning considerations, such as heritage preservation and urban design considerations. The major amendments to the endorsed PB are summarized as follows (Revised PB with proposed additions highlighted in *bold and italics* and deletions ~~crossed-out~~ at Annex I):

Amendments due to Exclusion of Site A

- (a) The gross site area (GFA) and net site area are revised to 1,997m² and 1,285m² respectively. (Item 1(a) of Section B of Annex I)
- (b) The reprovisioning of refuse collection point and public market in Site A is no longer relevant and is deleted. (Items 1(b) and 3 of Section B of Annex I)
- (c) The required public open space (POS) is revised from 625m² to 474m² due to the exclusion of Site A. (Item 2(a) of Section B of Annex I)
- (d) The requirement for provision of vehicular ingress/egress at Staunton Street/Bridge Street at Site A is no longer relevant and is deleted. (Item 4(b) of Section B of Annex I)
- (e) With the exclusion of Site A including Shing Wong Street, the stipulation of the requirement to preserve the street is no longer relevant and is deleted. (Item 5(b) of Section B of Annex I)
- (f) The requirement for a heritage study which is relevant to Site A only is deleted. (Item 5(d) of Section B of Annex I)

Amendments with reference to the Scheme in Sites B and C Considered Acceptable by MPC

- (g) The maximum GFA is revised to 6,117m² (equivalent to PR of about 4.76). (Item 1(c) of Section B of Annex I)
- (h) The maximum BH is reduced from 150mPD to 120mPD (main roof level). (Item 1(d) of Section B of Annex I)

- (i) Provision of public lay-by along Staunton Street. (Item 4 of Section B of Annex I)

Amendments due to latest Planning Considerations

Management and Maintenance of POS

- (j) URA has recently agreed, at its own cost, to take up the management and maintenance responsibilities of the POS, and the POS should be open to public free of charge at reasonable hours. (Item 2(a) of Section B of Annex I)

Heritage Preservation

- (k) As included in the scheme considered acceptable by MPC, the tenement buildings at No. 88-90 Staunton Street (**Plan 4 of Annex I**) should be preserved and revitalized to preserve the existing streetscape and local setting along Staunton Street. (Item 5(a) of Section B of Annex I)
- (l) Developments in Site B along Shing Wong Street should align with other existing buildings fronting Shing Wong Street for the enhancement of visual appreciation of the building architectures along the street, to encourage a vibrant street frontage and to preserve the existing character (Item 5(a) of Section B of Annex I). Besides, towers abutting Shing Wong Street should be arranged in a stepped BH profile. (Item 1(d) of Section B of Annex I)

Strengthening the Urban Design Considerations

- (m) With the promulgation of the Sustainable Building Design (SBD) Guidelines in April 2011, relevant requirements are incorporated (Item 5(a) of Section B of Annex I). The landscaping quality/greenery of the Development Scheme has been improved through stipulation of a minimum 20% green coverage as required under the SBD Guidelines. At least half of the greening should be at grade or levels that are easily accessible to pedestrians. (Item 5(d) of Section B of Annex I)
- (n) As an encouragement to preserve the existing character of Shing Wong Street, it is set out in the revised PB that in the determination of the maximum GFA for Site B, any floor space to be constructed or intended for use solely as green/amenity features and plant rooms, provided that such use and facilities are ancillary and directly related to the permitted uses, may be disregarded. (Item 5(a) of Section B

of Annex I)

- (o) To further improve the compatibility of the site with its surrounding, additional urban design considerations including paying due regard to the surrounding heritage features/historic sites (i.e. the FPMQ and the Bridges Street Market), minimizing the podium structure, providing setback along Aberdeen Street², and providing visual corridors between building blocks are incorporated (Item 5(a) of Section B of Annex I). In addition, pavement setback³ should also be provided along Staunton Street. (Item 4(b) of Section B of Annex I)
- (p) The requirements for Air Ventilation Assessment and Visual Impact Assessment are clearly set out in accordance with the relevant guidelines. (Item 5(b)(c) of Section B of Annex I)

Other Considerations

- (q) The requirements for Environmental and Sewerage Impact Assessment are separated from the Drainage Impact Assessment in accordance with the advice of the Director of Environmental Protection. (Items 6 and 7 of Section B of Annex I)
- (r) The development should minimize cumulative adverse impact on the stability of the hillside as advised by Head of Geotechnical Engineering Office, Civil Engineering and Development Department. (Item 8 of Section B of Annex I)

6. Consultation

6.1 The following Government bureaux/departments have been consulted and their comments have been incorporated in the above paragraphs and the draft PB, where appropriate:

- (a) Development Bureau;
- (b) Chief Building Surveyor/Hong Kong West, Buildings Department;
- (c) Director of Leisure and Cultural Services;

² According to the Air Ventilation Assessment study for the Sai Ying Pun & Sheung Wan Area commissioned by PlanD, Aberdeen Street is one of the major north-south streets act as air paths with building setback above podium to improve air ventilation. The setback requirement (i.e. a minimum setback of 2m from the lot boundary above 15m measured from mean street level abutting Aberdeen Street) has been incorporated into the OZP while the same is also stipulated in the PB.

³ According to URA's scheme accepted by MPC, a setback along Staunton Street is proposed for a 2m wide footpath to enhance pedestrian circulation.

- (d) Commissioner for Transport;
- (e) Director of Environmental Protection;
- (f) Chief Engineer/Hong Kong & Islands, Drainage Services Department;
- (g) Director of Food and Environmental Hygiene;
- (h) Head of Geotechnical Engineering Office, Civil Engineering and Development Department (CEDD);
- (i) Chief Town Planner/Urban Design and Landscape, Planning Department;
- (j) Antiquities and Monuments Office, Leisure & Cultural Services Department;
and
- (k) District Officer (Central & Western), Home Affairs Department.

6.2 The following Government departments have no comment on the draft PB:

- (a) District Lands Officer/Hong Kong West & South, LandsD;
- (b) Chief Estate Surveyor/Urban Renewal, LandsD;
- (c) Chief Architect/Central Management Division 2, Architectural Services Department;
- (d) Chief Highway Engineer/Hong Kong, Highways Department;
- (e) Commissioner of Police;
- (f) Chief Engineer/Development(2), Water Supplies Department;
- (g) Project Manager (Hong Kong Island & Islands), CEDD; and
- (h) Director of Fire Services.

7. Way Forward

Subject to Members' agreement, the C&WDC will be consulted on the draft revised PB. The views collected together with the revised PB incorporating the relevant comments, where appropriate, will be submitted to the Committee for further consideration and endorsement.

8. Advice Sought

Members are invited to consider the draft revised PB at **Annex I**, and agree that the draft revised PB is suitable for consultation with C&WDC.

9. Attachment

Annex I Draft Revised PB for the URA Staunton Street/Wing Lee Street Development Scheme

- Plan 1 Location Plan
- Plan 2 Site Plan
- Plan 3 Streets/Lanes Excluded from Site Area Calculation
- Plans 4 & 5 Site Photos

Annex II Location Plan – Sites A, B and C

Annex III Endorsed PB of the URA Staunton Street/Wing Lee Street Development Scheme

Annex IV Approved URA Staunton Street/Wing Lee Street DSP No. S/H3/URA1/4

PLANNING DEPARTMENT
SEPTEMBER 2012

REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY
DEVELOPMENT SCHEME AT
STAUNTON STREET / WING LEE STREET
HONG KONG



**DRAFT REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY DEVELOPMENT SCHEME AT
STAUNTON STREET/WING LEE STREET (H19)
(ENDORSED BY THE TOWN PLANNING BOARD ON 23.11.2007)**

A. Background Information

<i>Item</i>	<i>Particulars</i>	<i>Remarks</i>
1. Location	<p>The Development Scheme Area (the Area), comprising two major portions, is generally bounded by Staunton Street, Bridges <i>Shing Wong</i> Street, Wing Lee Street, Wa In Fong East and Aberdeen Street.</p> <p>A number of internal streets are located within the Area including Shing Wong Street, Wa In Fong West, part of Wa In Fong East and Chung Wo Lane.</p>	Plans 1 and 2
2. Zoning	<p>The Area is zoned "Comprehensive Development Area" ("CDA") on the Approved Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme Plan No. S/H3/URA1/24.</p> <p><i>A Master Layout Plan (MLP) should be submitted to the Town Planning Board for consideration.</i></p>	Plan 1
3. General Condition of the Area	<p>The Area is pre-dominantly residential in nature with a few retail shops and workshops on the ground floor of the existing properties. There is a market and a refuse collection point (RCP) at Bridges Street.</p> <p><i>Although renovation works have been carried out by some owners on their properties within the Area, many of the existing buildings within the Area are still in deteriorating or poor conditions.</i></p> <p><i>Some of the buildings have illegal extensions, and the internal services lanes</i></p>	

	<i>are narrow with poor environmental and hygiene conditions and pedestrian circulation of the Area need to be improved.</i>	
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B. Planning Parameters

<i>Item</i>	<i>Requirements/Particulars</i>	<i>Remarks</i>
1. Major Development Parameters		
a) Site Area	Gross Site Area: about 3,563 1,997 m ² Net Site Area: about 2,701 1,285 m ² (excluding the respective sections of Chung Wo Lane, Wa In Fong East, Wa In Fong West, Shing Wong Street, a small portion of Wing Lee Street and other existing services lanes within the Scheme boundary)	<i>Plan 3</i> Subject to verification upon setting out of the site
b) Proposed Use	Residential/Commercial/Government Institution or Community/Public Open Space	
c) Development Intensity <i>Maximum Gross Floor Area (GFA)</i>	Subject to a maximum plot ratio of 8 based on the net site area 6,117m² (equivalent to a PR of about 4.76 based on the net site area)	To ensure no intensification of development intensity, no bonus plot ratio is allowed. Commercial uses and GIC facilities, if any, are accountable for GFA calculation.
d) Maximum Building Height	±50 120 mPD (<i>main roof level</i>)	In complying with the height restriction, the strict principles of not intruding into the 20% building free zone below the ridgelines when viewed from the vantage point at the West Kowloon Cultural and Arts District and not reducing the water surface of Victoria Harbour when viewed from the Lion Pavilion at Victoria Peak should be strictly adhered to. The height of the development

<i>Item</i>	<i>Requirements/Particulars</i>	<i>Remarks</i>
		<p>should respect the character of the neighbourhood and be compatible with its surrounding area.</p> <p><i>The building heights of the residential towers abutting Shing Wong Street should be arranged in a stepped building height profile.</i></p> <p>The <i>proposed building heights</i> restriction is <i>are</i> subject to verification by a Visual Impact Assessment (VIA). Minor Relaxation of the height restriction may be allowed subject to strong justifications.</p>
<p>2. Open Space Provision</p> <p>a) Public Open Space</p>	<p>Public open space (<i>POS</i>) of not less than 625m² <i>474m²</i> shall be provided at grade (<i>including not less than 390m² uncovered POS</i>).</p>	<p>The public open space and the ancillary toilet should be provided and designed at no cost to the Government and to the satisfaction of the Director of Leisure and Cultural Services (DLCS).</p> <p>Appropriate configuration and adequate frontage/connection onto public streets should be incorporated into the overall design of the POS.</p> <p><i>The URA shall at its own cost take up the public open space</i> should be handed over to the Leisure & Cultural Services Department for management and maintenance <i>responsibilities of the POS</i> upon completion and request by DLCS.</p>

Item	Requirements <i>Particulars</i>	Remarks
<p>4. Transport Requirements</p> <p>a) Lane Closure/ Diversion</p> <p>b) Vehicular Ingress/Egress</p> <p>c) Pedestrian Facilities and Circulation</p> <p>d) Parking and Loading/Unloading Facilities</p>	<p>A Traffic Impact Assessment (TIA) shall <i>should</i> be prepared <i>and submitted as part of the MLP submission at the planning application stage</i> to the satisfaction of the Commissioner for Transport Department (C for TD).</p> <p>Some of the existing service lanes may be extinguished.</p> <p>At Staunton Street/Bridges Street</p> <p>Footpaths along Staunton Street and Bridges Street should be widened, <i>including a pavement set-back at G/F to align with the adjacent development</i> where practicable, to the satisfaction of C for TD.</p> <p>The following <i>North-south</i> pedestrian routes (<i>between Caine Road and Staunton Street</i>) should be provided to the satisfaction of C for TD and/or the Director of Highways Department.:</p> <p>i) north-south route between Caine Road and Staunton Street and/or Bridges Street; and</p> <p>ii) east-west route between Wing Lee Street and Staunton Street and/or Bridges Street.</p> <p>Provision <i>should be justified by the TIA and subject to the agreement of TD. Reference should be made to</i> in accordance with the Hong Kong Planning Standards & Guidelines (HKPSG) or subject to agreement with C for T.</p> <p><i>A joint public lay-by (with the adjacent development) of about 35m in length should be formed fronting Staunton Street to the satisfaction of TD.</i></p>	<p><i>The TIA should take into account major proposed and committed developments in the surrounding areas.</i></p> <p>Early arrangement should be made with the Secretary for Transport and Housing for gazettal of the closure of lanes/streets.</p> <p>The proposed pedestrian network should offer safe and convenient routes for pedestrians while respecting the existing desired routes (e.g. to Hollywood Road) within the neighbourhood.</p> <p><i>Barrier-free design</i> Access to the site for the physically handicapped should be incorporated within this the pedestrian network to the site if practicable.</p> <p>All transport facilities relevant to the Development Scheme should be properly planned with adequate sightline/ manoeuvrability and consideration to the future potential developments around the area.</p>

Item	Requirements/Particulars	Remarks
<p>5. Urban Design, Preservation & Landscaping Considerations</p> <p>a) Urban Design</p>	<p><i>The Development Scheme should take into account the following urban design considerations should be given to, where appropriate:</i></p> <ul style="list-style-type: none"> - enhancing the pedestrian networks between the POS and the adjoining areas; - respecting and being commensurate in scale with the surrounding heritage features/setting, and to preserve views to the adjacent historic sites, i.e. the Former Police Married Quarters and the Bridges Street Market; - designing the street frontage along Staunton Street with due regard to the Dr. Sun Yat-sen Historical Trail (Plan 1); - preserving the views towards Victoria Harbour from the Lion Pavilion at Victoria Peak and the ridgelines from the West Kowloon Cultural and Arts District's vantage point and respecting local setting; and - minimizing the size and height of the podium structure as far as possible; - varying adopting a stepped building height profile and; - providing sensitive layout and disposition to achieve better promote air ventilation and avoiding adverse impact on pedestrian wind environment. subject to any design improvements as may be identified in 	<p>Reference should be made to Chapters 4 and 11 of the HKPSG and according to the Director of Planning's advice.</p> <p>An AVA shall be submitted to the Town Planning Board (TPB) at the Master Layout Plan (MLP) submission stage. If the applicant want to apply for GFA concessions, the applicant is required to follow the Sustainable Building Design (SBD) Guidelines promulgated in the Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-152 issued by the Building Authority. The applicant is encouraged to demonstrate that the development complies with the guidelines taking into account local circumstances.</p> <p>However, the applicant is encouraged to maintain a vibrant street frontage, meanwhile to preserve existing distinct character and align with the existing frontage, facing Shing Wong Street¹, and to preserve and revitalize 88-90 Staunton Street to preserve the local setting along Staunton Street.</p>

¹ To preserve existing distinct character and align with the existing frontage facing Shing Wong Street, in determining the maximum GFA for the site abutting Shing Wong Street, any floor space to be constructed or intended for use solely as green/amenity features and plant rooms, provided that such use and facilities are ancillary and directly related to the always permitted use, may be disregarded.

Item	Requirements/Particulars	Remarks
<p>b) Air Ventilation Aspect</p>	<p>the Air Ventilation Assessment (AVA);</p> <ul style="list-style-type: none"> - <i>providing a minimum setback of 2m from the lot boundary above 15m measured from mean street level abutting Aberdeen Street; and</i> - <i>providing sufficient separation between building blocks within the Area and from those on adjoining sites to promote visual permeability.</i> <p><i>An Air Ventilation Assessment (AVA) should be carried out in accordance with the Technical Circular on Air Ventilation Assessment and submitted as part of the MLP submission at the planning application stage.</i></p>	<p><i>In preparing the AVA, reference should be made to the Expert Evaluation for the Sai Ying Pun & Sheung Wan Area, in particular Aberdeen Street which act as one of the major north-south air paths. The proposed layout and building disposition on the Area should be carefully designed to promote air ventilation.</i></p>
<p>c) Visual Aspect</p>	<p><i>A VIA should be prepared to demonstrate the building height and design of the proposed development would minimize any adverse impact on the surrounding areas.</i></p>	<p><i>In preparing the VIA, reference should be made to the Town Planning Board Guidelines on Submission of VIA for Planning Applications to the Town Planning Board.</i></p>
<p>b) Preservation</p>	<p>Shing Wong Street must be preserved. No structure is allowed to deck over Shing Wong Street.</p>	
<p>e)d) Landscaping</p>	<p>The open space shall be fully landscaped as far as practicable. On-site opportunities for greening should be maximized and the existing trees should be preserved as far as possible, except the at-grade tree at Shing Wong Street, which is an important landscape feature and should be preserved.</p> <p><i>A Landscape Master Plan (LMP) should</i></p>	<p>The design of the open space should enhance the existing pedestrian network and the identity of the local area.</p> <p>Roof garden(s) should be provided to enhance greenery of the Development Scheme.</p> <p><i>In preparing the LMP, the applicant is encouraged to</i></p>

Item	Requirements/Particulars	Remarks
	<p>be submitted at as part of the MLP submission at the planning application stage, with the incorporation of the following landscaping requirements:</p> <ul style="list-style-type: none"> - prepare a comprehensive landscape proposal to promote greening and soften the building mass; - existing trees within the Area should be preserved as far as possible; - optimize greening opportunities in the developments wherever possible. Landscape planting at street level, on podium/roofs and vertical greening on facades should be provided; - introduce high quality streetscape with tree planting and street furniture, enhance the visual connectivity amongst various activity nodes, provide a friendly pedestrian setting, and create a strong sense of place; and - a minimum coverage of 20% for greening at the Area shall be adopted. The greening can be at ground level, podium, rooftop, etc. Minimum half of the greening should be provided at grade or levels easily accessible to pedestrians (e.g. street level and/or podium accessible to the public). 	<p>make reference to the Greening Master Plan for Sheung Wan published by the Government in formulation of planting theme and strategy.</p> <p>Reference should be made to the Public Open Space in Private Developments Guidelines, as well as the requirements and procedures as stipulated in Lands Administration Office Practice Note No. 7/2007 - 'Tree Preservation and Tree Removal Application for Building Development in Private Projects'.</p> <p>Tree planting should be maximized in the development where practicable, particularly, at street level and on podium level.</p>
<p>(d) Heritage</p>	<p>A Heritage Study should be conducted for the Development Scheme to the satisfaction of the Antiquities and Monuments Office (AMO).</p> <p>A Dr. Sun Yat-sen commemorative facility such as a memorial square should be provided at the original location where the events of Dr. Sun Yat-sen took place and be accessible by the general public.</p>	<p>The Heritage Study shall identify and record events and items of historical interest (including architectural items), including the relevant photographic/cartographic record of the items of historical interest, a salvage plan as well as an interpretation plan with respect to events and items of historical interests.</p>

<i>Item</i>	<i>RequirementsParticulars</i>	<i>Remarks</i>
<p>6. <i>Environmental and Sewerage Considerations</i></p>	<p><i>An Environmental Assessment (EA) and Sewerage Impact Assessment (SIA) shall be prepared and submitted as part of the MLP submission at the planning application stage. It is required to address the potential environmental impacts, including traffic noise and emission impact, associated with the proposed development. Proposed mitigation measures should be incorporated as part of the MLP submission to the satisfaction of the Environmental Protection Department.</i></p> <p><i>Site investigation should be conducted to identify any land contamination at the site. If land contamination is found, remedial works should be undertaken to clean up the site prior to any redevelopment works.</i></p> <p><i>Relevant pollution control measures should be implemented to minimize the environmental impacts on the nearby sensitive uses during construction.</i></p>	<p><i>For EA, reference should be made to the relevant guidelines and HKPSG. In the design and disposition of the building blocks, due regard should be given to mitigate traffic noise and emissions impact through careful design and disposition of the residential blocks or the provision of other mitigation measures to comply with the relevant requirements</i></p> <p><i>For SIA, reference should be made to the Guidelines for Estimating Sewage Flows for Sewage Infrastructure Planning.</i></p>
<p>7. 6. Environmental, Drainage & Sewerage Considerations</p>	<p>An environmental assessment (EA) and a Drainage Impact Assessment shall be prepared and submitted as part of the MLP submission at the planning application stage to the satisfaction of the Director of Environmental Protection (DEP) and the Director of Drainage Services Department (DDSD) respectively.</p> <p>Future residential development should be designed to mitigate traffic noise and emissions impact through careful design and disposition of the residential blocks or the provision of other mitigation measures to comply with the relevant requirements. Site investigation should be conducted to</p>	<p>Reference should be made to the relevant guidelines, HKPSG and the Drainage Services Department's Stormwater Drainage and Sewerage Manuals and subject to DEP's advice.</p>

<i>Item</i>	<i>RequirementsParticulars</i>	<i>Remarks</i>
	<p>identify any land contamination at the site. If land contamination is found, remedial works should be undertaken to clean up the site prior to any redevelopment works. Relevant pollution control measures should be implemented to minimize the environmental impacts on the nearby sensitive uses during construction. A drainage and sewerage assessment should also be included in the EA. The existing public stormwater drains and sewers in the catchment area as well as the potential stormwater and sewage impacts of the future development should be studied, and any upgrading works should be designed and constructed at the developer's cost to the satisfaction of the DSD and DEP.</p>	
<i>8. Geotechnical Aspect</i>	<p><i>The proposed site is partly within the Mid-levels Scheduled Area and any works within this Area are subject to additional geotechnical controls. In particular, bulk excavation shall not be carried out below levels to be determined by the Building Authority as required in Building (Construction) Regulation 21. This control measure is necessary to minimize cumulative adverse effects of bulk excavation on the stability of the hillside generally.</i></p>	

Plan 1

Location Plan

Plan 2

Site Plan

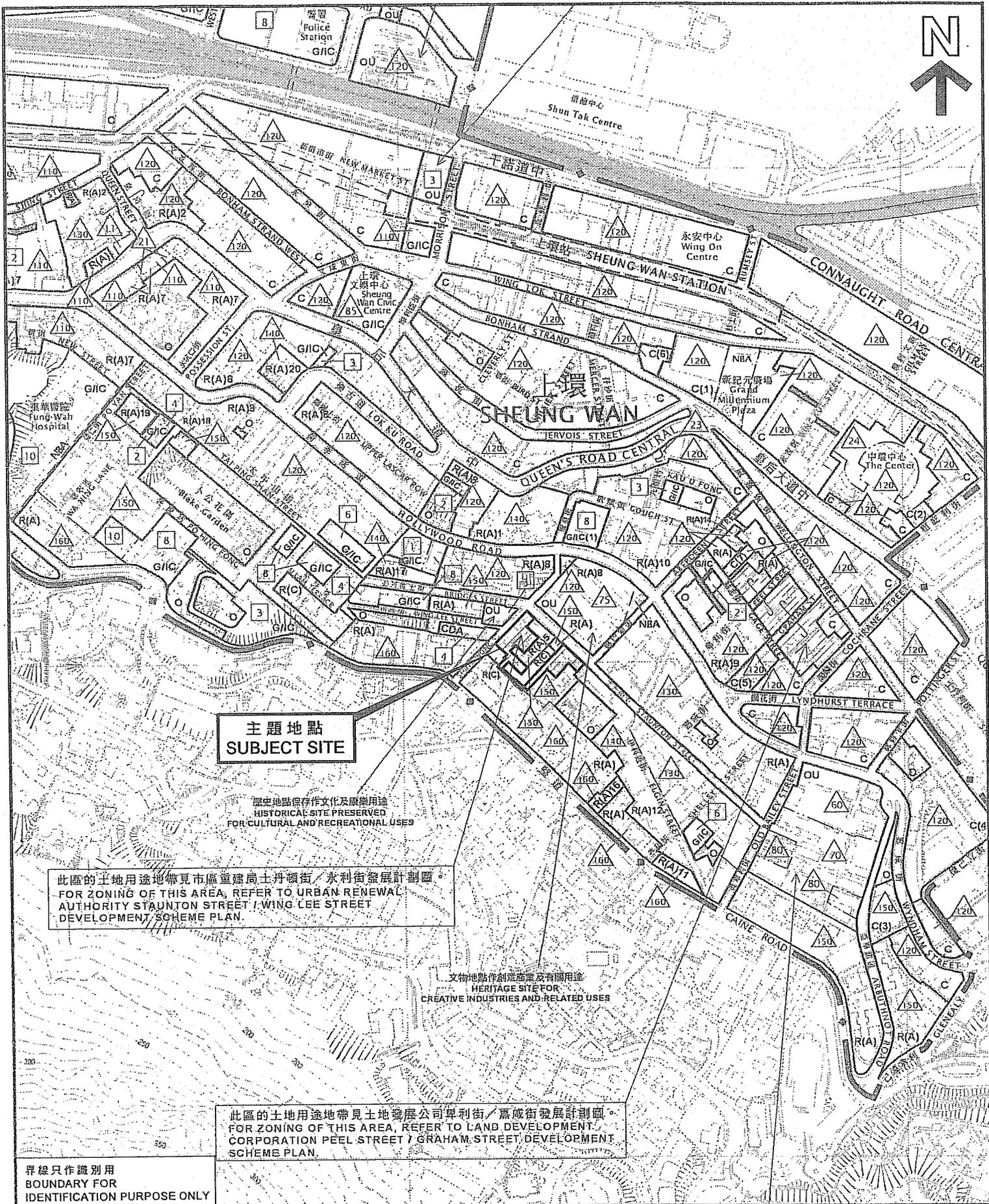
Plan 3

Streets/Lanes Excluded from Site Area Calculation

Plans 4 and 5

Site Photos

PLANNING DEPARTMENT
DECEMBER 2007/SEPTEMBER 2012



主題地點
SUBJECT SITE

歷史地點保留作文化及康樂用途
HISTORICAL SITE PRESERVED
FOR CULTURAL AND RECREATIONAL USES

此區的土地用途常見市區重建局士丹頓街/永利街發展計劃圖。
FOR ZONING OF THIS AREA, REFER TO URBAN RENEWAL
AUTHORITY STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN.

文物地點作創意產業及有關用途
HERITAGE SITE FOR
CREATIVE INDUSTRIES AND RELATED USES

此區的土地用途常見土地發展公司卑利街/嘉咸街發展計劃圖。
FOR ZONING OF THIS AREA, REFER TO LAND DEVELOPMENT
CORPORATION PEEL STREET / GRAHAM STREET DEVELOPMENT
SCHEME PLAN.

界線只作識別用
BOUNDARY FOR
IDENTIFICATION PURPOSE ONLY

位置圖 LOCATION PLAN

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

規劃署
PLANNING
DEPARTMENT



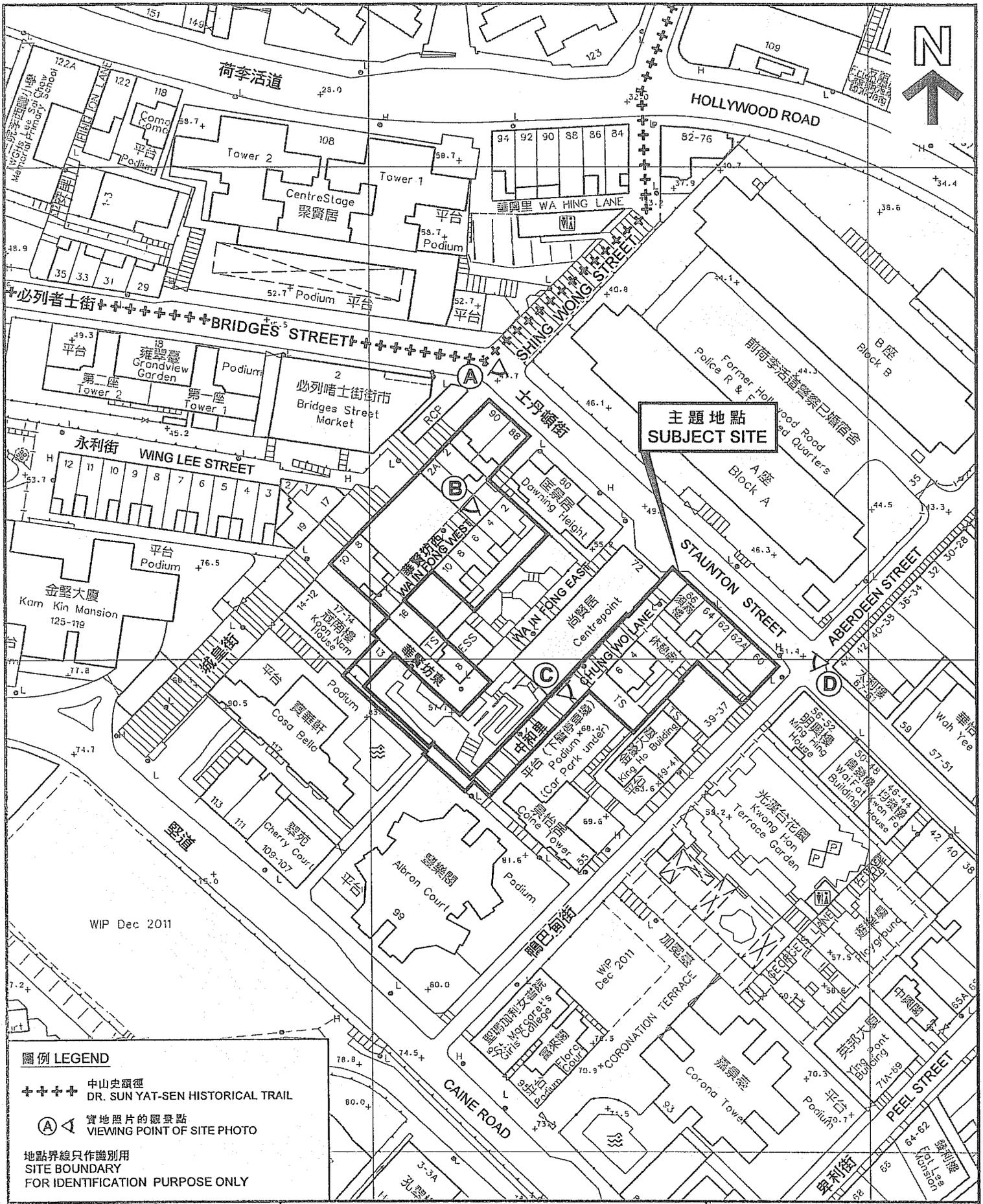
參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
1

SCALE 1 : 5 000

METRES100 0 100 200METRES

本摘要圖於2012年8月29日擬備，
所根據的資料為於2012年5月8日
核准的分區計劃大綱圖編號S/H3/27
EXTRACT PLAN PREPARED ON 29.8.2012
BASED ON OUTLINE ZONING PLAN No.
S/H3/27 APPROVED ON 8.5.2012



圖例 LEGEND

- ++++ 中山史蹟徑
DR. SUN YAT-SEN HISTORICAL TRAIL
- (A) 實地照片的觀景點
VIEWING POINT OF SITE PHOTO
- 地點界線只作識別用
SITE BOUNDARY FOR IDENTIFICATION PURPOSE ONLY

本摘要圖於2012年8月29日擬備，
所根據的資料為測量圖編號11-SW-8C
EXTRACT PLAN PREPARED ON 29.8.2012
BASED ON SURVEY SHEET No. 11-SW-8C

平面圖 SITE PLAN

核准的市區重建局發展計劃圖編號S/H3/URA/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA/4

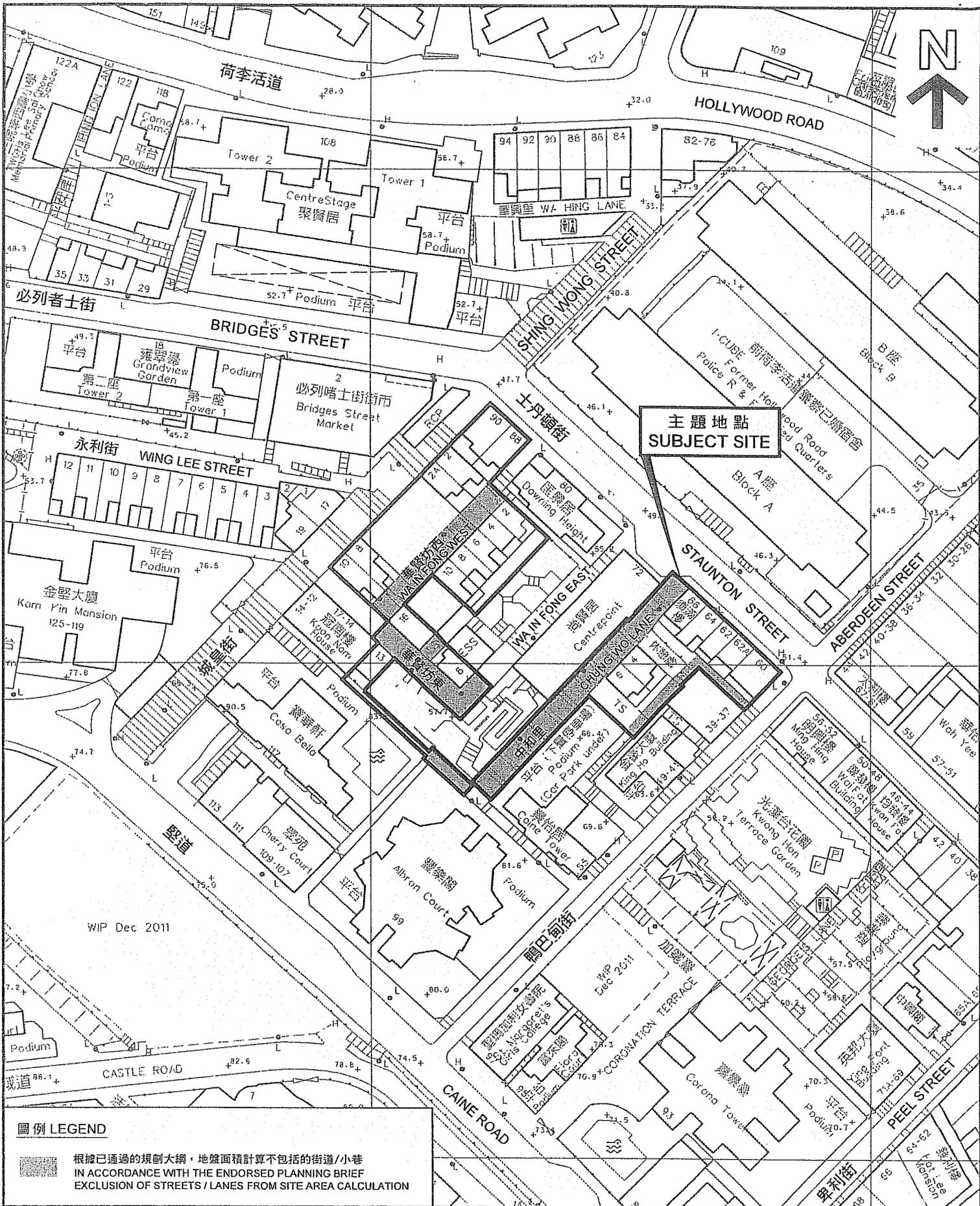
SCALE 1 : 1000 比例尺

METRES 20 0 20 40 METRES

**規劃署
PLANNING
DEPARTMENT**

參考編號
REFERENCE No.
M/H3/12/14

圖 PLAN
2



平面圖 SITE PLAN

不包括在地盤面積內的街道/小巷
 STREETS / LANES EXCLUDED FROM SITE AREA CALCULATION

市區重建局士丹頓街 / 永利街發展計劃
 URBAN RENEWAL AUTHORITY

STAUNTON STREET / WING LEE STREET DEVELOPMENT SCHEME

米 METRES 20 0 20 40 METRES

SCALE 1:1000 比例尺

規劃署
 PLANNING
 DEPARTMENT



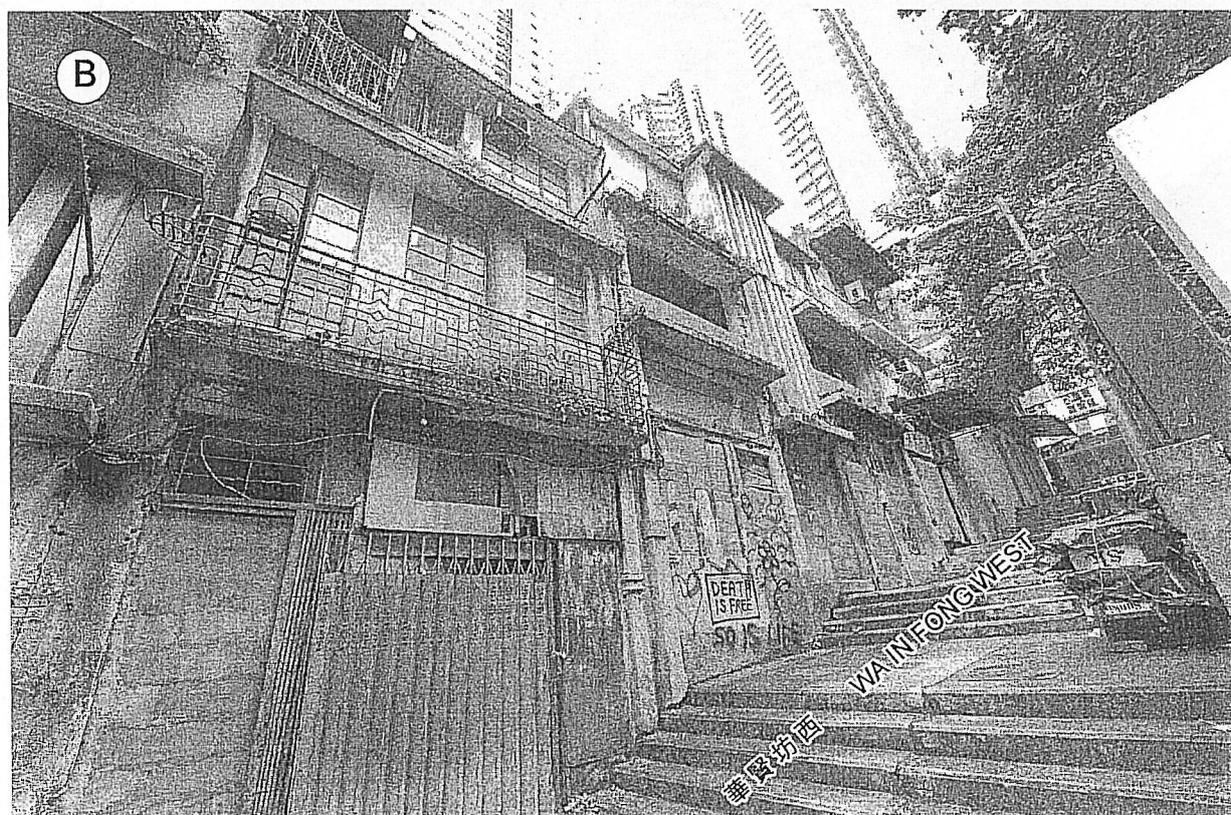
參考編號
 REFERENCE No.
 M/H3/12/14

圖 PLAN
 3

本摘要圖於2012年8月29日擬備，
 所根據的資料為測量圖編號11-SW-8C
 EXTRACT PLAN PREPARED ON 29.8.2012
 BASED ON SURVEY SHEET No. 11-SW-8C

WIP Dec 2011

主題地點
 SUBJECT SITE



實地照片 SITE PHOTOS

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

規劃署
PLANNING
DEPARTMENT



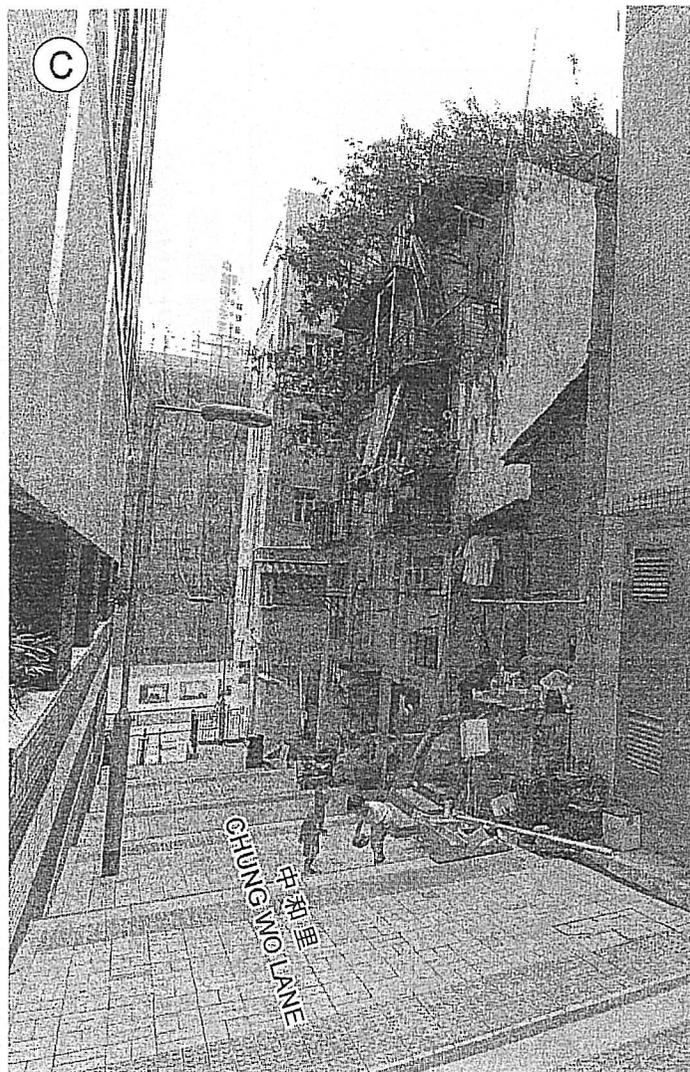
參考編號
REFERENCE No.

M/H3/12/14

圖 PLAN

4

本圖於2012年8月30日擬備，所根據的
資料為攝於2012年8月22日的實地照片
EXTRACT PLAN PREPARED ON 30.8.2012
BASED ON SITE PHOTOS TAKEN ON 22.8.2012



本圖於2012年8月31日擬備，所根據的資料為攝於2012年8月22日的實地照片
 EXTRACT PLAN PREPARED ON 31.8.2012
 BASED ON SITE PHOTOS TAKEN ON 22.8.2012

實地照片 SITE PHOTOS

核准的市區重建局發展計劃圖編號S/H3/URA1/4
 士丹頓街/永利街發展計劃

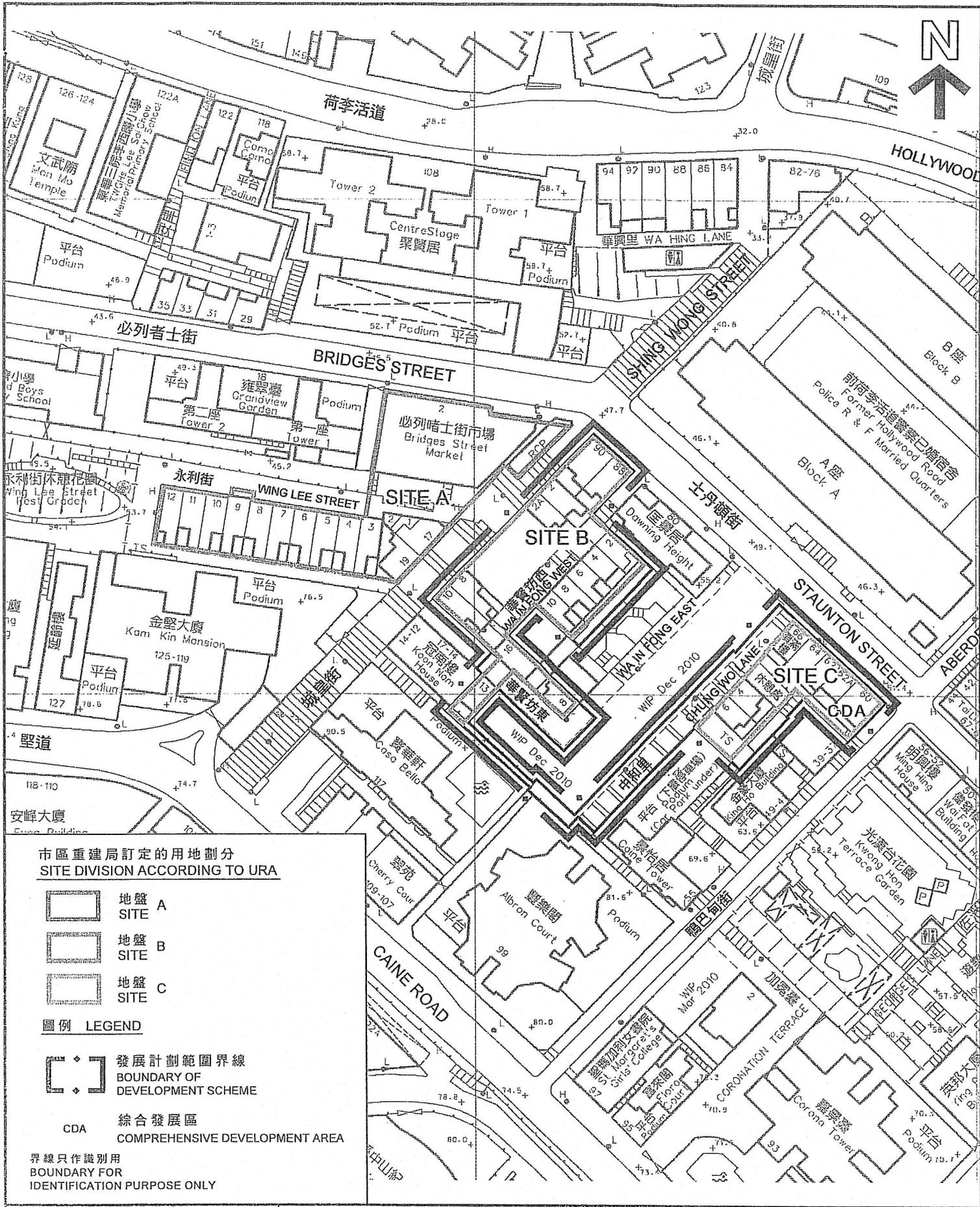
APPROVED URBAN RENEWAL AUTHORITY
 STAUNTON STREET / WING LEE STREET
 DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

規劃署
**PLANNING
 DEPARTMENT**



參考編號
 REFERENCE No.
 M/H3/12/14

圖 PLAN
 5



本摘要圖於2012年9月14日擬備，所根據的資料為於2012年5月8日核准的市區重建局發展計劃圖編號S/H3/URA1/4

EXTRACT PLAN PREPARED ON 14.9.2012 BASED ON URBAN RENEWAL AUTHORITY DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4 APPROVED ON 8.5.2012

位置圖 LOCATION PLAN

核准的市區重建局發展計劃圖編號S/H3/URA1/4
士丹頓街/永利街發展計劃

APPROVED URBAN RENEWAL AUTHORITY
STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN No. S/H3/URA1/4

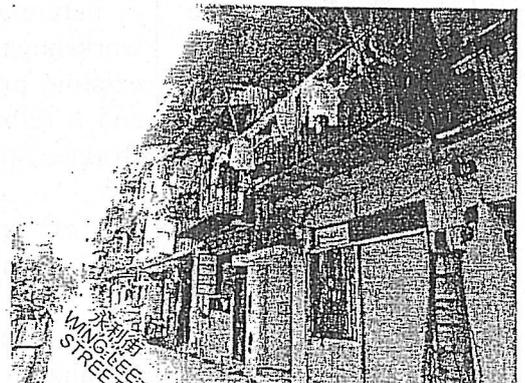
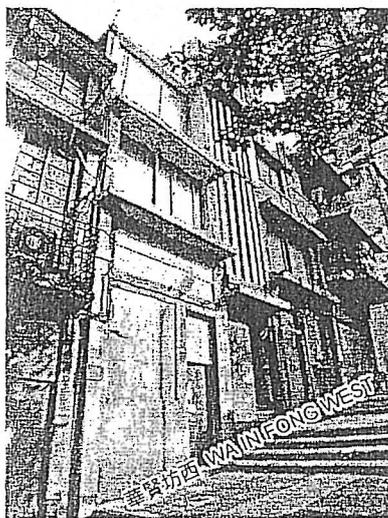
米 METRES 20 SCALE 1:1000 比例尺 20 米 40METRES

**規劃署
PLANNING
DEPARTMENT**

參考編號
REFERENCE No.
M/H3/12/14

附件
ANNEX
II

REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY
DEVELOPMENT SCHEME AT
STAUNTON STREET / WING LEE STREET
HONG KONG (H19)



**REVISED PLANNING BRIEF FOR THE
URBAN RENEWAL AUTHORITY DEVELOPMENT SCHEME AT
STAUNTON STREET/WING LEE STREET (H19)
(ENDORSED BY THE TOWN PLANNING BOARD ON 23.11.2007)**

A. Background Information

	Particulars	Remarks
1. Location	<p>The Development Scheme Area (the Area), comprising two major portions, is generally bounded by Staunton Street, Bridges Street, Wing Lee Street, Wa In Fong East and Aberdeen Street.</p> <p>A number of internal streets are located within the Area including Shing Wong Street, Wa In Fong West, part of Wa In Fong East and Chung Wo Lane.</p>	Plan 1
2. Zoning	<p>“Comprehensive Development Area” (“CDA”) on the Approved Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme Plan No. S/H3/URA1/2.</p>	
3. General Condition of the Area	<p>The Area is pre-dominantly residential in nature with a few retail shops and workshops on the ground floor of the existing properties. There is a market and a refuse collection point (RCP) at Bridges Street.</p> <p>The existing buildings within the Area are in deteriorating or poor conditions.</p> <p>Environmental hygiene and pedestrian circulation of the Area need to be improved.</p>	

B. Planning Parameters

	Requirements	Remarks
1. Development Parameters		
a) Site Area	Gross Site Area: about 3,563m ² Net Site Area: about 2,701m ² (excluding the respective sections of Chung Wo Lane, Wa In Fong East, Wa In Fong West, Shing Wong Street, a small portion of Wing Lee Street and other existing services lanes within the Scheme boundary)	Subject to verification upon setting out of the site
b) Proposed Use	Residential/Commercial/Government, Institution or Community/Public Open Space	
c) Development Intensity	Subject to a maximum plot ratio of 8 based on the net site area	To ensure no intensification of development intensity, no bonus plot ratio is allowed.
d) Maximum Building Height	150mPD	In complying with the height restriction, the strict principles of not intruding into the 20% building free zone below the ridgelines when viewed from the vantage point at the West Kowloon Cultural and Arts District and not reducing the water surface of Victoria Harbour when viewed from the Lion Pavilion at Victoria Peak should be strictly adhered to. The height of the development should respect the character of the neighbourhood and be compatible with its surrounding area. The height restriction is subject to verification by a Visual Impact Assessment (VIA). Minor Relaxation of the height restriction may be allowed subject to strong justifications.

	Requirements	Remarks
<p>2. Open Space Provision</p> <p>a) Public Open Space</p>	Public open space of not less than 625m ² shall be provided at-grade.	<p>The public open space and the ancillary toilet should be provided and designed at no cost to the Government and to the satisfaction of the Director of Leisure and Cultural Services (DLCS).</p> <p>Appropriate configuration and adequate frontage/connection onto public streets should be incorporated into the overall design of the public open space.</p> <p>The public open space should be handed over to the Leisure & Cultural Services Department for management and maintenance upon completion and request by DLCS.</p> <p>The public open space should be open 24 hours to the public except under unusual circumstances.</p>
b) Private Open Space	1m ² per person or as appropriate	To serve the future residents of this Development Scheme, at-grade or on podium.

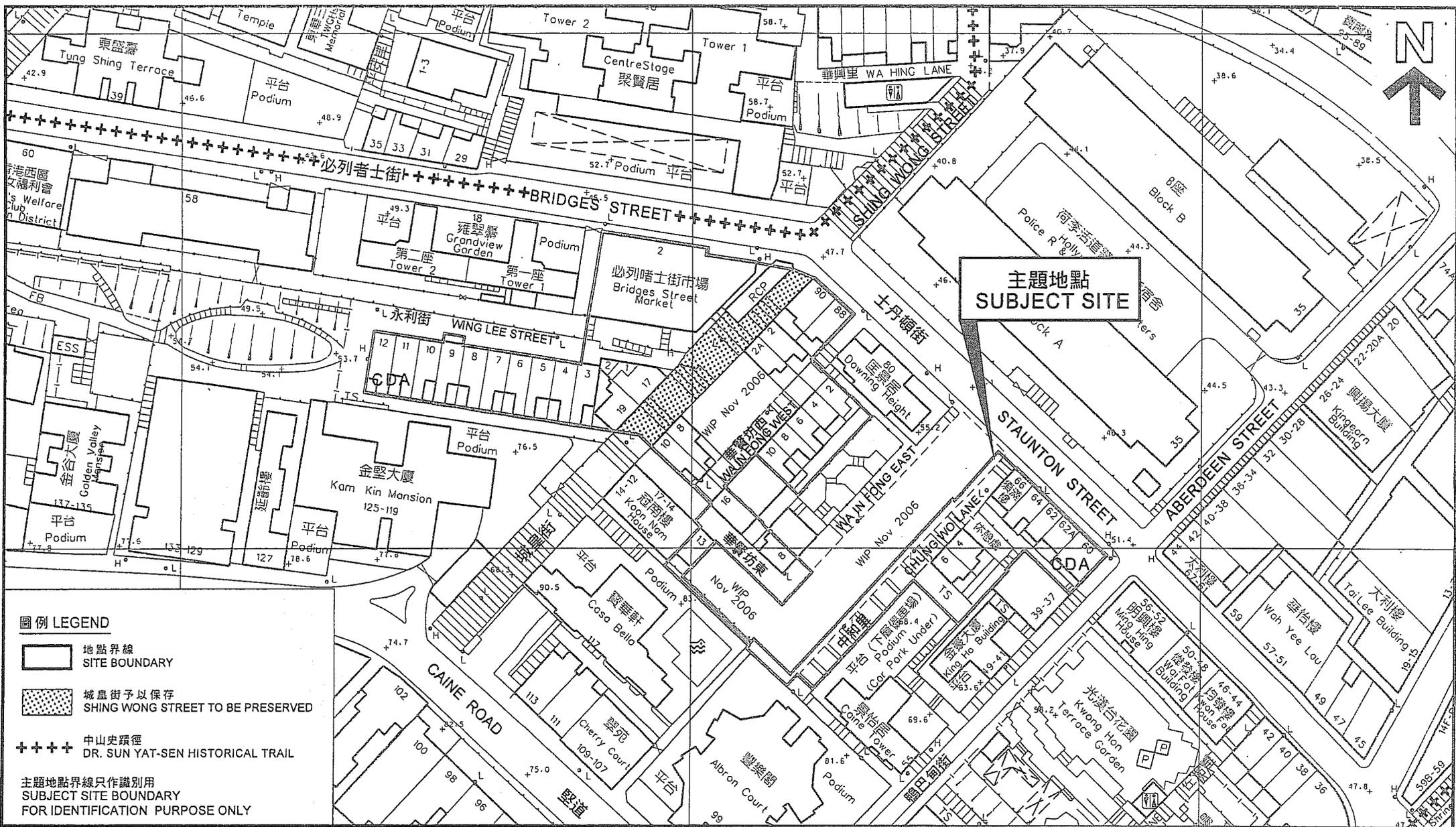
	Requirements	Remarks
3. Government, Institution or Community (GIC) Facilities		
a) Refuse Collection Point (RCP)	The reprovisioning of the existing RCP at the former Hollywood Road Married Police Quarters (HR) site to the satisfaction of the Director of Food and Environmental Hygiene (DFEH).	<p>The URA should fund the reprovisioning of a standard RCP at the HR site. In case the implementation of the Development Scheme is ahead of the new RCP at the HR site, the URA should provide a temporary RCP within the Development Scheme to the satisfaction of DFEH before demolition of the existing RCP.</p> <p>The temporary RCP, if required, should be so positioned such that the proposed Dr. Sun Yat-sen commemorative facility would not be adversely affected.</p>
b) Public Market	Not required	The URA should work out a reprovisioning and/or compensation package for the lessees of the Bridges Street Market and licensed hawkers affected by the Development Scheme at its own cost and to the satisfaction of DFEH.
4. Transport Requirements	A traffic impact assessment shall be prepared to the satisfaction of the Commissioner for Transport (C for T).	
a) Lane Closure/ Diversion	Some of the existing service lanes may be extinguished.	Early arrangement should be made with the Secretary for Transport and Housing for gazettal of the closure of lanes/streets.

	Requirements	Remarks
b) Vehicular Ingress/Egress	At Staunton Street/Bridges Street	
c) Pedestrian Facilities and Circulation	Footpaths along Staunton Street and Bridges Street should be widened, where practicable, to the satisfaction of C for T. The following pedestrian routes should be provided to the satisfaction of C for T and/or the Director of Highways: i) north-south route – between Caine Road and Staunton Street and/or Bridges Street; and ii) east-west route – between Wing Lee Street and Staunton Street and/or Bridges Street.	The proposed pedestrian network should offer safe and convenient routes for pedestrians while respecting the existing desired routes (e.g. to Hollywood Road) within the neighbourhood. Access to the site for the physically handicapped should be incorporated within this pedestrian network.
d) Parking and Loading/Unloading Facilities	Provision in accordance with the Hong Kong Planning Standards & Guidelines (HKPSG) or subject to agreement with C for T.	All transport facilities relevant to the Development Scheme should be properly planned with adequate sightline/maneuverability and consideration to the future potential developments around the area.
5. Urban Design, Preservation & Landscaping Considerations		
a) Urban Design	Design considerations should be given to: - enhancing the pedestrian networks; - designing the street frontage along Staunton Street with due regard to the Dr. Sun Yat-sen Historical Trail (Plan 1); - preserving views towards Victoria Harbour from the Lion Pavilion at Victoria Peak and the ridgelines from the West Kowloon Cultural and Arts District's vantage point and respecting local setting; and	Reference should be made to Chapters 4 and 11 of the HKPSG and according to the Director of Planning's advice.

	Requirements	Remarks
	- varying building height profile and sensitive layout and disposition to achieve better air ventilation, subject to any design improvements as may be identified in the Air Ventilation Assessment (AVA).	An AVA shall be submitted to the Town Planning Board (TPB) at the Master Layout Plan (MLP) submission stage.
b) Preservation	Shing Wong Street must be preserved. No structure is allowed to deck over Shing Wong Street.	
c) Landscaping	The open space shall be fully landscaped as far as practicable. On-site opportunities for greening should be maximized and the existing trees should be preserved as far as possible, except the at-grade tree at Shing Wong Street, which is an important landscape feature and should be preserved. A Landscape Master Plan should be submitted to the TPB at the MLP submission stage.	The design of the open space should enhance the existing pedestrian network and the identity of the local area. Roof garden(s) should be provided to enhance greenery of the Development Scheme.
d) Heritage	A Heritage Study should be conducted for the Development Scheme to the satisfaction of the Antiquities and Monuments Office (AMO). A Dr. Sun Yat-sen commemorative facility such as a memorial square should be provided at the original location where the events of Dr. Sun Yat-sen took place and be accessible by the general public.	The Heritage Study shall identify and record events and items of historical interest (including architectural items), including the relevant photographic/cartographic record of the items of historical interest, a salvage plan as well as an interpretation plan with respect to events and items of historical interests.
6. Environmental, Drainage & Sewerage Considerations	An environmental assessment (EA) and a drainage impact assessment shall be prepared to the satisfaction of the Director of Environmental Protection (DEP) and the Director of Drainage Services (DDS) respectively.	Reference should be made to the relevant guidelines, HKPSG and the Drainage Services Department's Stormwater Drainage and Sewerage Manuals and subject to DEP's advice.

	Requirements	Remarks
	<p>Future residential development should be designed to mitigate traffic noise and emissions impact through careful design and disposition of the residential blocks or the provision of other mitigation measures to comply with the relevant requirements.</p> <p>Site investigation should be conducted to identify any land contamination at the site. If land contamination is found, remedial works should be undertaken to clean up the site prior to any redevelopment works.</p> <p>Relevant pollution control measures should be implemented to minimize the environmental impacts on the nearby sensitive uses during construction.</p> <p>A drainage and sewerage assessment should also be included in the EA.</p> <p>The existing public stormwater drains and sewers in the catchment area as well as the potential stormwater and sewage impacts of the future development should be studied, and any upgrading works should be designed and constructed at the developer's cost to the satisfaction of the DDS and DEP.</p>	

PLANNING DEPARTMENT
DECEMBER 2007

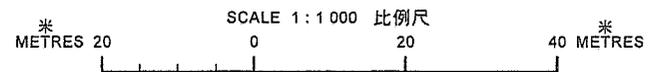


圖例 LEGEND

- 地點界線
SITE BOUNDARY
- 城區街予以保存
SHING WONG STREET TO BE PRESERVED
- 中山史蹟徑
DR. SUN YAT-SEN HISTORICAL TRAIL
- 主題地點界線只作識別用
SUBJECT SITE BOUNDARY
FOR IDENTIFICATION PURPOSE ONLY

平面圖 SITE PLAN

市區重建局士丹頓街 / 永利街發展計劃 (H19)
 URBAN RENEWAL AUTHORITY DEVELOPMENT SCHEME
 AT STAUNTON STREET / WING LEE STREET (H19)



規劃署
 PLANNING
 DEPARTMENT



參考編號
 REFERENCE No.
 M/H3/07/46

圖 PLAN
 1

本摘要圖於2007年10月23日擬備，
 所根據的資料為測量圖編號
 11-SW-8C
 EXTRACT PLAN PREPARED ON 23.10.2007
 BASED ON SURVEY SHEET No.11-SW-8C

圖例
NOTATION

- | | | |
|--------------------------------|--|----------|
| BOUNDARY OF DEVELOPMENT SCHEME | | 發展計劃範圍界線 |
| COMPREHENSIVE DEVELOPMENT AREA | | 綜合發展區 |



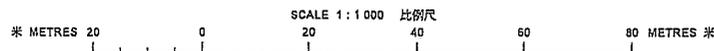
夾附的《註釋》屬這份圖則的一部分
THE ATTACHED NOTES
ALSO FORM PART OF THIS PLAN

行政長官會同行政會議於2012年5月8日根據城市規劃條例第9(1)(a)條核准的圖則
APPROVED BY THE CHIEF EXECUTIVE IN COUNCIL UNDER SECTION 9(1)(a) OF THE TOWN PLANNING ORDINANCE ON 8 MAY 2012

Ms Manda CHAN 陳詠嫻女士
CLERK TO THE EXECUTIVE COUNCIL 行政會議秘書

香港城市規劃委員會依據城市規劃條例擬備的市區重建局士丹頓街/永利街發展計劃圖

TOWN PLANNING ORDINANCE, HONG KONG TOWN PLANNING BOARD
URBAN RENEWAL AUTHORITY STAUNTON STREET / WING LEE STREET
DEVELOPMENT SCHEME PLAN



依據市區重建局條例第25(3)(a)條擬備
PREPARED UNDER SECTION 25(3)(a) OF THE
URBAN RENEWAL AUTHORITY ORDINANCE

圖則編號
PLAN No. S/H3/URA1/4

Extract of the Minutes of the MPC Meeting held on 21.9.2012

[Ms. April K.Y. Kun, Senior Town Planner/Hong Kong (STP/HK), was invited to the meeting at this point.]

[Ms. Bonnie Chan returned to join the meeting at this point.]

Hong Kong District

Agenda Item 7

[Open Meeting (Presentation and Question Sessions only)]

Draft Revised Planning Brief for the Urban Renewal Authority Staunton Street/Wing Lee Street Development Scheme
(MPC Paper No. 8/12)

28. The Secretary reported that the subject development would be carried out by Urban Renewal Authority (URA). The following Members had declared interests in this item:

Mr. Jimmy Leung - being a non-executive director of URA
as the Director of Planning

- Ms. Doris Chow - being a representative of the Director of
as the Assistant Director of Lands who was a non-executive director
Lands Department of URA
- Mr. Eric Hui - being a representative of the Director of
as the Assistant Director of Home Affairs who was a non-executive
Home Affairs Department director of URA
- Mr. H.W. Cheung - being a co-opted member of the
Planning, Development and
Conservation Committee of URA
- Prof. C. M. Hui - being a co-opted member of the Finance
Committee of URA
- Mr. Stephen Yau - being a member of the Wan chai District
Advisory Committee of URA
- Prof. P. P. Ho and Mr. Patrick - having current business dealings with
Lau URA
- Mr. Maurice Lee - being a former non-executive director of
URA (the term of office ended on
30.11.2008)

29. The Committee noted that Mr. Hui had tendered apologies for being unable to attend the meeting and Mr. Lee was yet to arrive to join the meeting. As the interests of the other Members were direct, the Committee agreed that they should leave the meeting temporarily. Since the Chairman had declared an interest and needed to leave the meeting, the Committee agreed that the Vice-chairman should take over and chair the meeting for this item. The Vice-chairman chaired the meeting at this point.

[The Chairman, Ms. Doris Chow, Mr. H.W. Cheung, Prof. C.M. Hui, Mr. Stephen Yau, Prof.

P.P. Ho, Mr. Patrick Lau left the meeting temporarily at this point.]

Presentation and Question Sessions

30. With the aid of a powerpoint, Ms. April Kun, STP/HK, presented the draft planning brief (PB) for the URA Staunton Street/Wing Lee Street Development Scheme as detailed in the Paper and summarised below:

Background

- (a) the PB for the URA Staunton Street/Wing Lee Street Development Scheme Plan (DSP) was endorsed by the Board on 23.11.2007. According to the latest URA's application No. A/H3/387, the tenement buildings at Wing Lee Street (Site A) were historically valuable and deserved conservation. Therefore, URA also proposed to excise Site A from the DSP and rezoning it to an appropriate conservation/preservation zoning while Sites B and C would remain in the DSP;
- (b) on 19.3.2010, the Committee agreed that the preservation of all the tenement buildings at Wing Lee Street (Site A) was the right direction, and the development parameters and layout for Sites B and C (i.e. a 13-storey and a 20-storey residential block with lower floors accommodating commercial/retail uses with an overall PR of 4.76) were acceptable;
- (c) on 8.7.2011, the draft URA Staunton Street/Wing Lee Street DSP No. S/H3/URA1/3, incorporating amendments mainly related to the excision of the Wing Lee Street area and the Bridges Street Market site (Site A) from the DSP, was exhibited under section 5 of the Town Planning Ordinance. On 17.1.2012, the Board decided not to propose any amendment to the DSP to meet the 28 representations received. On 8.5.2012, the draft DSP was approved by the Chief Executive in Council and renumbered as S/H3/URA1/4, while the zoning of the site (i.e. "CDA") remained unchanged;

Major Changes to the Endorsed PB

- (d) as a result of the exclusion of Site A, and the URA's revised scheme for Sites B and C, the endorsed PB had to be reviewed. Subsequent to excising Site A, the gross site area (GFA) and net site area were revised to 1,997m² and 1,285m² respectively. The requirement reference to Site A, such as reprovisioning of refuse collection point and public market, vehicular ingress/egress at Staunton Street/Bridge Street, preservation of Shing Wong Street and heritage study relevant to Site A, would be deleted. The required public open space (POS) was revised from 625m² to 474m² due to the exclusion of Site A;
- (e) according to the schemes in Sites B and C acceptable to MPC, the maximum GFA was revised to 6,117m². The maximum building height was reduced from 150mPD to 120mPD;
- (f) to strengthen the heritage preservation, tenement buildings at 88-90 Staunton Street should be preserved. Developments in Site B along Shing Wong Street should align with other existing buildings fronting Shing Wong Street for the enhancement of visual appreciation of the building architectures along the street, to encourage a vibrant street frontage and to preserve the existing character. Besides, towers abutting Shing Wong Street should be arranged in a stepped BH profile; and
- (g) to strengthen urban design, the relevant requirements in Sustainable Building Design (SBD) Guidelines would be incorporated. A minimum 20% green coverage as required under the SBD Guidelines was included. Moreover, setback along Staunton Street and Aberdeen Street were proposed to improve compatibility of the site with its surroundings. Due regard should be paid to heritage features/historic sites. The requirements for Air Ventilation Assessment and Visual Impact Assessment were clearly set out in accordance with the relevant guidelines.

31. In response to a Member's enquiry, Ms. April Kun explained that Plan 1 in

Annex III of the Paper was the site plan enclosed in the previous PB and hence Site A was included. She further confirmed that Site A had been excised from the scheme by making reference to Plan 1 in Annex I of the Paper.

32. In response to a Member's enquiry, Ms. April Kun said that in the MLP submitted to the Board in 2009, URA had conducted heritage assessment and recommended to preserve the two buildings at No. 88-90 Staunton Street in the Development Scheme with a view to preserving the special character of Staunton Street. Those two buildings were not historic buildings included in the list of 1,444 historic buildings being considered by the Antiquities Advisory Board.

Deliberation Session

33. After further deliberation, the Committee decided to :

- (a) endorse the draft revised planning brief (PB) for the Urban Renewal Authority (URA) Staunton Street/Wing Lee Street Development Scheme (H19); and
- (b) agree that the draft PB was suitable for consultation with the Central and Western District Council. The views collected together with the revised PB incorporating the relevant comments, where appropriate, would be submitted to the Committee for further consideration and endorsement.

[The Chairman, Ms. Doris Chow, Mr. H.W. Cheung, Prof. C.M. Hui, Mr. Stephen Yau, Prof. P.P. Ho, Mr. Patrick Lau returned to join the meeting at this point.]

Extract of the Minutes of the FEHWC of C&WDC Meeting held on 18.10.2012

第 5 項：經修訂的市區重建局士丹頓街／永利街發展計劃的規劃大綱擬稿
(下午 2 時 45 分至 3 時 16 分)

23. 規劃署高級城市規劃師/港島(4) 靳嘉燕女士向委員會介紹文件內容，簡述如下：

- i. 士丹頓街／永利街發展計劃原本包含 A、B 及 C 三個地盤。其後，市區重建局(市建局)在 2010 年 3 月向城市規劃委員會(城規會)提出全面保育永利街的方案，最終城規會決定把上述的地盤 A，即永利街一帶，剔出計劃範圍。經修訂的計劃草圖經刊憲及行政會議核准後，已經完成法定程序。
- ii. 地盤 B 及 C 依舊維持為「綜合發展區」。根據城市規劃條例第 16 條，市建局在進行工程前，必先向城規會提出規劃申請以及提交總綱發展藍圖，並獲得通過。
- iii. 規劃大綱是為發展計劃提供指引的文件。在地盤 A 未剔出計劃範圍前，規劃署及市建局曾在 2007 年 9 月提交規劃大綱予環工會進行諮詢。因為發展計劃範圍的修改，規劃大綱亦需作出相應的修訂。
- iv. 規劃大綱的修訂大致上可分為三方面。首先是因應地盤 A 的剔出所作的修訂，包括更改發展計劃的地盤面積，以及刪除只與地盤 A 相關的條文。其次，是加入市建局就地盤 B 及 C 提交並獲城規會認為可接受的方案而作的相關修訂。市建局自向城規會提出規劃申請以來，一直就最新的規劃狀況對設計作出調整，考慮到區內文物保育的項目，市建局建議調低計劃的發展密度。經調整後，整合的地積比率由 8 降至 4.76，而建築物高度亦由 150mPD 降至 120mPD (Meters above Principal Datum)。
- v. 是次的修訂亦加強了保育及城市設計的考慮，前者主要針對地盤 B，後者則主要針對地盤 C。在保育方面，規劃大綱明確指出會保存及活化士

丹頓街 88-90 號兩棟唐樓，以保存街道面貌及強化街景。規劃大綱同時要求所有在城皇街新興建的建築物和現有建築物平排，令視覺更加一致；並建議新興建的建築物採用梯級式設計，令視覺更具層次感，並維持城皇街的活力。在城市設計方面，規劃大綱標示了最新有關可持續建築設計指引的要求，例如整個設計需有最少 20% 的綠化覆蓋率。同時，規劃大綱列明某些地點的建築物需向後移以改善通風系統或擴闊行人路，以及要求規劃設計需配合附近史蹟。

- vi. 規劃署希望就此規劃大綱收集委員會的意見，向城規會作出匯報，市建局須根據規劃大綱的指引擬定總綱發展藍圖，向城規會提出規劃申請，到時將就申請細則再次諮詢區議會。

24. 主席請委員發表意見及提問，委員的發言簡述如下：

- i. 甘乃威議員表示歡迎計劃的地積比率由 8 降至 4.76 以及建築物高度方面的下降，但相信現時市民會期望更低的數目，故此希望市建局及規劃署考慮把此兩項目的數字進一步降低。此外，他希望部門解釋為何當初表示保育城皇街，但文件中改為不保育的原因；文件中沒有提及 GIC(政府、機構或社區)用地將會在何處補償；以及為何規劃大綱內的休憩用地由 24 小時開放改為在合理時間開放。另一方面，他認為發展範圍內小巷的處理彈性全落在市建局而非市民手中，是不能接受的。
- ii. 鄭麗琼議員關注計劃 H19，並詢問士丹頓街及鴨巴甸街交界的地盤 C 的收地情況。她指出經常接獲市民表示，希望保留該地一列唐樓，由大廈業主自行處理保育事宜。她表示該地一列唐樓有業權轉讓的情況，不少業主把單位重新裝潢或拆除僭建物。另外，她詢問計劃的建築物高度，並表示擔心日後興建的建築物會有成為「牙籤樓」的情況。同時，她詢問部門業主在此計劃中需要承擔的責任，例如公共空間及街道等；以及「綜合發展區」對社區的貢獻。

25. 靳嘉燕女士指出，現時規劃大綱的地積比率及建築物高度是參考市建局最後提交並獲城規會認為可接受的方案而擬定，而該方案亦曾提交區議會進行諮詢。她指出 4.76 的地積比率及 120mPD 的建築物高度是計劃的上限，是給予市建局進行設計的基準。至於甘乃威議員提及的城皇街保育問題，她澄清刪除保育城皇街的字眼是因為城皇街已被剔出發展範圍，剔出的原因正是要保育城皇街。此外，她指出規劃大綱所指的 GIC 設施包括街市均在地盤 A 的範圍內，隨著地盤 A 被剔除，有關條文不再適用。必列啫士街街市是文物保育專員辦事處統籌的第三期活化計劃下的歷史建築項目，當項目完成審議時，相信當局會向區議會就項目作介紹。有關休憩用地，市建局已承諾負責管理，至於由 24 小時改為在合理時間開放，是希望保留彈性，因為有可能部份優化設施不適合 24 小時開放。

26. 市建局規劃及設計助理總經理區俊豪先生表示，為了回應區議會及市民對保育的關注，在 2008 至 2009 年間，計劃的總 GFA 減少了 44%；在 2009 至 2010

及 2010-2012 年間則分別再每次減少了 14% 和 40%。另一方面，如討論文件附圖展示，委員關注因規劃署訂立 120mPD 建築物高度能配合周邊建築物呈現梯級式的城市設計，市建局會依據城規會所訂立的大綱在未來進行設計，而地盤 B 內新建的建築物亦考慮週邊的建築物及城市設計後，高度更是低於上限的 120mPD 至約 90mPD。他強調，市建局十分注重發展計劃圖內的街道巷里，因此，在 2009 年提出保育巷里及台階氛圍主導的重建規劃，所以是次計劃亦不會在範圍內的重要城市肌理上蓋建建築物。此外，是次設計亦會透過現有肌理，連接分散而範圍較少的公共空間。至於鄭麗琼議員關注的小業主責任問題，規劃署及康樂文化事務署(康文署)已一致同意由市建局管理上述的公共空間。故此，小業主只需要為私人空間負責。至於有關休憩用地由 24 小時改為在合理時間開放，他解釋是因為在有設施需要進行定時維修，休憩用地便不可 24 小時開放。他指出，在決定休憩用地的開放時間前，亦會先得到區議會的同意，市建局亦希望市民喜愛使用該公共空間。在收地情況方面，市建局一直聯絡地盤 B 及 C 的業主，而地盤 B 的收地狀況比過往雖有改善。然而至今市建局只成功收購約半數地盤 C 的業權，並會繼續與業主商討。至於整體設計方面，他承諾在規劃大綱通過後，會將規劃申請諮詢區議會，屆時，將會以圖示方式表達，給予各議員更清晰的資訊。

27. 主席再次請委員發表意見及提問，委員的發言簡述如下：

- i. 甘乃威議員認為區俊豪先生並沒有回應有關在地盤 C 重建 120mPD 建築物高度所衍生的問題。他質疑聲稱希望保育氛圍的市建局，為何在只有半數地盤 C 的業權已被收購，以及重建後的建築物售價將為一般市民不能負擔的\$30,000/呎的情況下，仍然拆卸該地的樓宇。他認為，政府在此事上欺騙市民，並清楚表明反對計劃內 120mPD 建築物高度的基準。他建議市建局應和相關業主合作，共同保育該地，並質疑市建局在市區規劃上的角色是否拆卸舊樓宇，然後興建昂貴的大廈出售給內地人。另一方面，他對計劃內休憩用地的開放時間及形容的字眼表達不滿，並認為區俊豪先生以上對休憩用地開放時間的回應不能接受及不能令人安心。由於市建局將會和不同的地產商發展地盤，在樓盤呎價高昂的情況下，他擔心到時公共休憩用地的處理方法。另一方面，就靳嘉燕女士的回應，他詢問為何修訂的文件中在保育一欄上刪除了「城皇街必須予以保留，不可有任何構築跨建於城皇街上」，並猜想這是否暗示將會有建築建於該街道上。他認為若部門不打算在城皇街上興建建築物，可以在規劃大綱內清晰寫出。
- ii. 陳捷貴議員詢問靳嘉燕女士就堅道和士丹頓街之間南北向的行人路的设计，規劃大綱內提及「如切實可行的話，須在行人網絡內採用暢通無阻的通道設計」中「切實可行」的準則；第 5a 項提及「在設計沿士丹頓街的臨街面時，應考慮配合中山史蹟徑」的實際配合方案及審批過程；第 5d 項所指的外牆垂直綠化的定義和有否一套既定的垂直綠化方法；以及如何量度及監管 20%的綠化比率。
- iii. 鄭麗琼議員詢問在地盤 C 範圍內的唐樓可用面積比較多，或是以 120mPD

主水平基準興建的新建築物可用面積比較多，並表示有很多市民向她表達不希望拆卸該地區。同時，她關注種有許多粗壯的樹木的中和里休憩處會否在計劃內拆卸，或是交由康文署處理。

27. 靳嘉燕女士重申，刪除有關保育城皇街的字眼是由於城皇街已被剔出發展範圍。但她同意甘乃威議員的意見，可以在規劃大綱內仍然寫出保育城皇街的意向，作為注釋。就陳捷貴議員詢問有關如何監管綠化比率及設計準則等問題，她指出市建局在進行工程前，必先向城規會提出規劃申請以及提交總綱發展藍圖，並獲得通過，而審議過程可以確保規劃大綱上的指引可以實踐。
28. 區俊豪先生回應，有關休憩用地的開放時間問題將交予地政總署跟進，並指出地盤 C 的規劃用途是根據城規會在本年一月聽取正反雙方意見後所作出的決定而擬定的。現時地盤 C 範圍內大多是約 5-7 層的唐樓，雖然重建後的地積比率最高可達至 9，但現時地盤 C 的建議地積比率約為 6.5。另一方面，他指出地盤 C 內將來的公共空間面積將與現時的休憩空間大致相若，並重申計劃將把現時及將來的公共空間和城市肌里連接起來。他補充靳嘉燕女士的回應，指出除了城規會的審議外，屋宇署亦會審議建築圖則，當中亦包括計算綠化比率的既定指標，方可實行。
29. 陳財喜議員表示中上環一帶的綠化地帶不足，認為是次計劃的綠化比率至少須為 30%，並表明不能接受部門提出的 20%綠化比率。
30. 主席提醒相關部門在再修訂規劃大綱的時候，應該留意各委員所表達的意見。