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**PROPOSED JOINT USER  
COMPLEX AND WHOLESALE  
FISH MARKET AT AREA 44  
TUEN MUN  
- PROJECT PROFILE**

Report Prepared by :  
**Allied Environmental Consultants Ltd.**

**COMMERCIAL-IN-CONFIDENCE**

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## **BASIC INFORMATION**

### Project title:

- Proposed joint user complex and wholesale fish market at Area 44 Tuen Mun New Territories

### Purpose and nature of project:

- Relocation of the temporary wholesale fish market from Area 27 to a permanent location at Area 44 of Tuen Mun in order to continue the operation of wholesale fish market at Tuen Mun district and provision of social welfare facilities, such as library and community hall, for public uses.

### Name of project proponent:

- Architectural Services Department, The Government of Hong Kong Special Administrative Region

### Location and scale of project (include plans) and history of site:

- The subject site is an open space by the waterfront and located near the opening of the nullah at the southern part of Tuen Mun. It is bounded by the waterfront of the typhoon shelter to the east, Wu Shan Road to the west and Wu Tai Circuit to the north. Godowns are located at the south of the site. Figure 1 indicates the site location and the surrounding environment.
- The proposed development, with a site area of approximately 8,760 square meters, will occupy a minimum of 100 meters along the seafront. The development consists of 5 storeys with plot ratio of 1.2. The proposed facilities include a wholesale fresh water fish market, a library, a community hall, a tent-covered spectator stand and a landscaped deck.
- The history of the wholesale fish market started at the mid-1940'. The Castle Peak Wholesale Fish Market (CPFM) was originally established at Lo Shu Chau, Castle Peak Bay in 1946 by the Fish Marketing Organization (FMO). The FMO is a statutory and financially independent corporation founded under the Marine Fish (Marketing) Ordinance, Cap. 291. Owing to the development of Tuen Mun New Town, the FMO CPFM was temporarily relocated at Area 27 of Tuen Mun (the existing site) in 1973 pending the identification of a suitable site for building a permanent market.
- Due to the gradual decay of wooden structures of the current temporary market over 20 years, the lack of parking spaces on the adjacent roads and, the arise of public hygiene and environmental problems affecting the surrounding land users, the existing FMO wholesale fish market is intended to relocate at Area 44 of Tuen Mun.

### Number and types of designated projects to be covered by the project profile:

- The proposed development includes only one type of Designated Project (Schedule 2 Part I Community Facilities N.3) in accordance with the EIAO.

### Name and telephone number of contact person(s):

- Proponent: Architectural Services Department
- Environmental Consultant: Allied Environmental Consultants Limited

## **OUTLINE OF PLANNING AND IMPLEMENTATION PROGRAMME**

- If it is agreed to proceed with the project, the construction phase is estimated to be 34 months long and the operation phase will be commenced immediately after receiving the consent for operation. The proposed development will be planned and implemented by the Architectural Services Department.
- No other projects shall be considered regarding this proposed development.

## **POSSIBLE IMPACT ON THE ENVIRONMENT**

Environmental issues	Possible impact	
	Construction Phase	Operation Phase
Gaseous emissions	Unlikely to generate gaseous emissions from powered mechanical equipment (PME)	No chimney or gaseous emissions installation
Dust	Fugitive dust emissions from bare ground and excavation activities	Unlikely to generate dust from the proposed development
Odour	Unlikely to generate odour	Unlikely to cause impact due to proper provision of deodorization units and ventilation units.
Noisy operations	Noise from operation of PME and prescribed construction works such as handling of steel bars, hammering and formworks.	Unlikely to cause impact of due to proper installation of silenced ventilation systems.
Night-time operations	No construction activities will be carried out during night-time.	Unlikely to cause impact due to complete deck over and full enclosure of parking and trading areas.
Traffic generation	Heavy vehicles for transportation of construction materials may increase the traffic flow in the vicinity.	Unlikely to increase the traffic flow during normal hours. Lorry for the transportation of fish is likely to increase the traffic flow during night-time.
Liquid effluents, discharges, or contaminated runoff	Surface runoff and wastewater generation from construction activities.	Unlikely to cause impact due to proper design of on-site drainage system.
Generation of waste or by-products	Construction waste, such as wood boards and rubbles.	Unlikely to cause impact due to proper design of refuse collection points.
Dangerous goods, hazardous materials or wastes	Chemicals for construction works, such as thinners and paints.	Unlikely to store dangerous goods, hazardous materials or wastes.
Risk of accidents	Unlikely to cause risk of accidents which would result in pollution or hazard.	Unlikely to cause risk of accidents which would result in pollution or hazard.

Disposal of spoil material	Disposal of chemical waste, such as oil drum.	Unlikely to occur.
Disruption of water movement or bottom sediment	Unlikely to occur.	Unlikely to occur.
Unightly visual appearance	May occur before the finishing of the building.	Unlikely to occur as there will be landscape deck and the proposed building will not obstruct the seaview.
Ecological impacts	Unlikely to occur.	Unlikely to occur.

## **MAJOR ELEMENTS OF THE SURROUNDING ENVIRONMENT**

- The nearest sensitive receiver is Yuet Wu Villa at 100m to the south of the subject site. Tuen Mun Wu Hong Clinic is located to the west at 100m to the site boundary. Two secondary schools, namely Ka Chi Secondary School and South Tuen Mun Government Secondary School, are approximately 300m to the south of the site boundary.
- There is a LPG station which has been classified as a Potential Hazardous Installation (PHI), located at approximately 100m away from the proposed development. One-third of the subject site encroaches within the 150m consultation zone as illustrated in the layout plans (Figures 2 and 3). According to the Electrical & Mechanical Services Department (EMSD), prior to the construction of the PHI, an assessment of the off-site risks posed by the PHI has been undertaken and subsequently endorsed by the Coordinating Committee on Land-use Planning and Control relating to Potentially Hazardous Installations (CCPHI) based on a layout plan of the area and the estimated associated population. As the normal daily activities are not carried out at the same time as the proposed wholesale fish market, the peak population adopted in the risk assessment within the consultation zone remains. Thus the risk assessment findings are still valid.

## **ENVIRONMENTAL PROTECTION MEASURES TO BE INCORPORATED IN THE DESIGN AND ANY FURTHER ENVIRONMENTAL IMPLICATIONS**

### **Construction Phase**

- Dust control measures will be implemented to suppress the fugitive dust dispersion. The Air Quality Objectives (AQOs) stipulated in the Air Pollution Control Ordinance shall be complied and all relevant ‘Dust Control Requirements’ listed in the Air Pollution Control (Construction Dust) Regulation shall be fulfilled throughout the construction period. Powered Mechanical Equipment such as air compressors, will be well-maintained and, if necessary, air filters shall be installed to prevent the emission of air pollutants.
- Construction activities will be carried out during day-time except public holidays and Sundays. With reference to the Practice Note – Noise from Construction Activities (ProPECC PN2/93), the suggested noise mitigation measures shall be implemented to minimize the noise impacts on the surrounding noise sensitive receivers, where applicable.

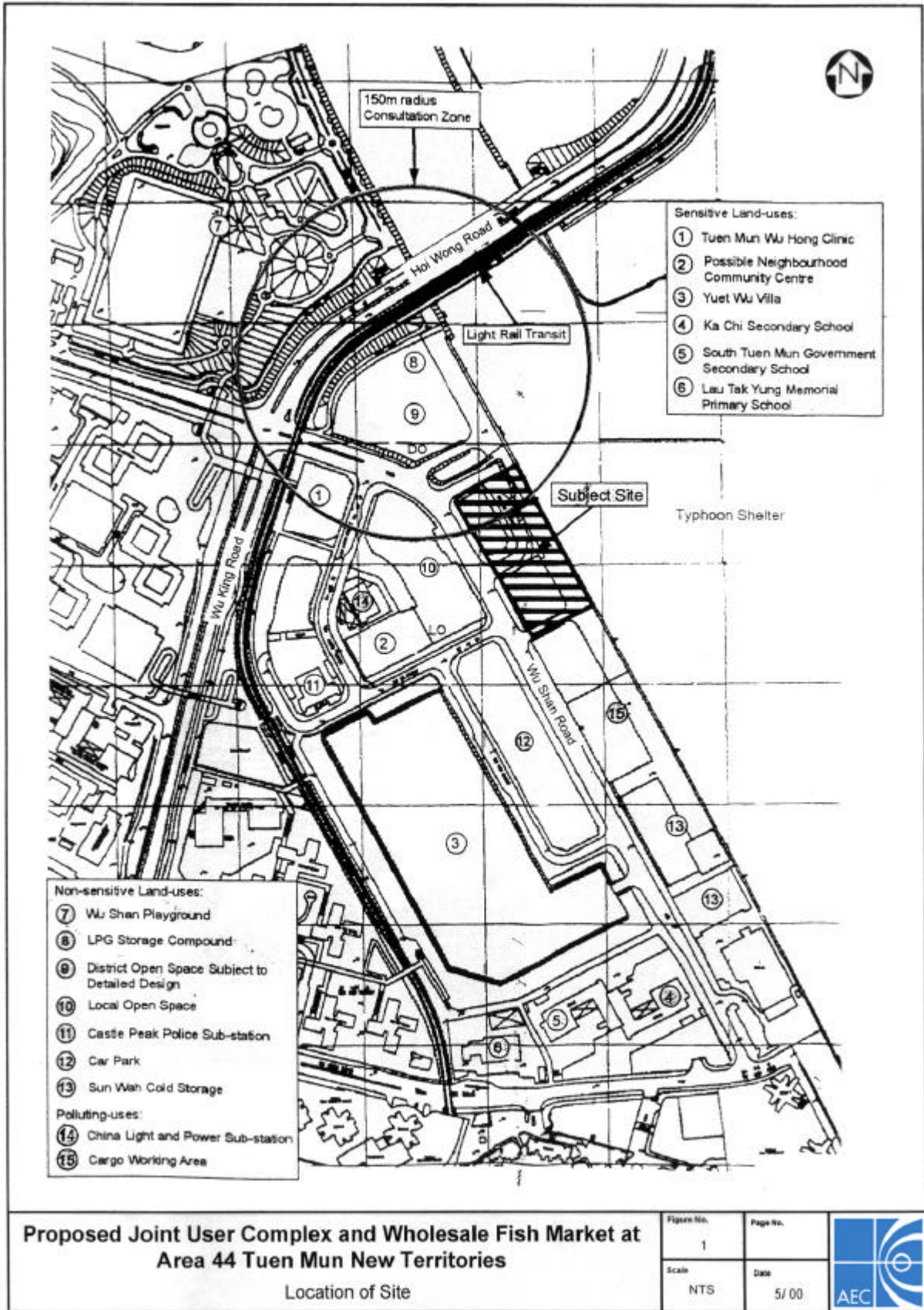
- Solid wastes, such as excavated soil and wooden boards, generated from the construction site will be disposed of to proper dumping sites. Re-use of materials on site will be performed, if applicable, to reduce the volume of materials requiring off-site disposal. Prior to the disposal of chemical wastes, Chemical Waste Producer Registration will be made and proper storage of chemical waste on site will be attempted.
- All the wastewater from the construction site will be collected and treated before discharge. Wastewater generated from the construction activities, such as grouting and bore piling, generally contains high content of suspended solids. Sedimentation tank will be installed for the treatment of all the wastewater from the construction site.

### **Operational Phase**

- Odour may emit from the refuse collection point (RCP), marine refuse collection point (MRCP), public toilet, loading and lorry parking areas and fish market areas. To eliminate the odour nuisance, mitigation measures will be implemented such as installation of deodorization system and cleaning of working areas by disinfectant and deodorant.
- Trading related activities, such as loading of fish and public announcement, lorry parking space and loading of refuse will be totally enclosed under the landscaped roof. Thus the noise impact due to the trading activities will be negligible. The mechanical ventilation systems will be located away from noise sensitive receivers. Noise mitigation measures, such as enclosures and silencers, will be installed on the noise generating system whenever necessary. The vehicular access is located at the northern part of the subject development to avoid vehicles passing by the Yuet Wu Villa. The 3-storey library and community hall will provide substantial screening on the boat docking area to the nearest residential area to the south of the site.
- All solid wastes generated from the joint user complex and wholesale fish market will be temporarily stored within the RCP or MRCP and transported to proper disposal areas in accordance with the requirements of the Food and Environmental Hygiene Department. Chemical waste from the proposed development will be handled, transported and disposed of in proper manner according to the Waste Disposal Ordinance.
- Wastewater generated from the wholesale fish market will be collected by properly design of on-site drainage system to avoid discharging to the waterfront. The collected wastewater will be directed to the drainage system.
- Landscaping design is incorporated to provide a pleasant visual environment at the seafront. The roof of the complex will be landscaped. Planters will be located outside the lorry parking area to avoid direct line of sight from the nearby land users.
- Light intrusion from the lorries shall be insignificant. As the vehicular access is located at the northern part of the proposed wholesale fish market and the parking area is totally enclosed, light from lorries will be unlikely to cause any discomfort to the nearby residents.

### **USE OF PREVIOUS APPROVED EIA REPORTS**

- No previous EIA report has been approved or submitted for the subject development

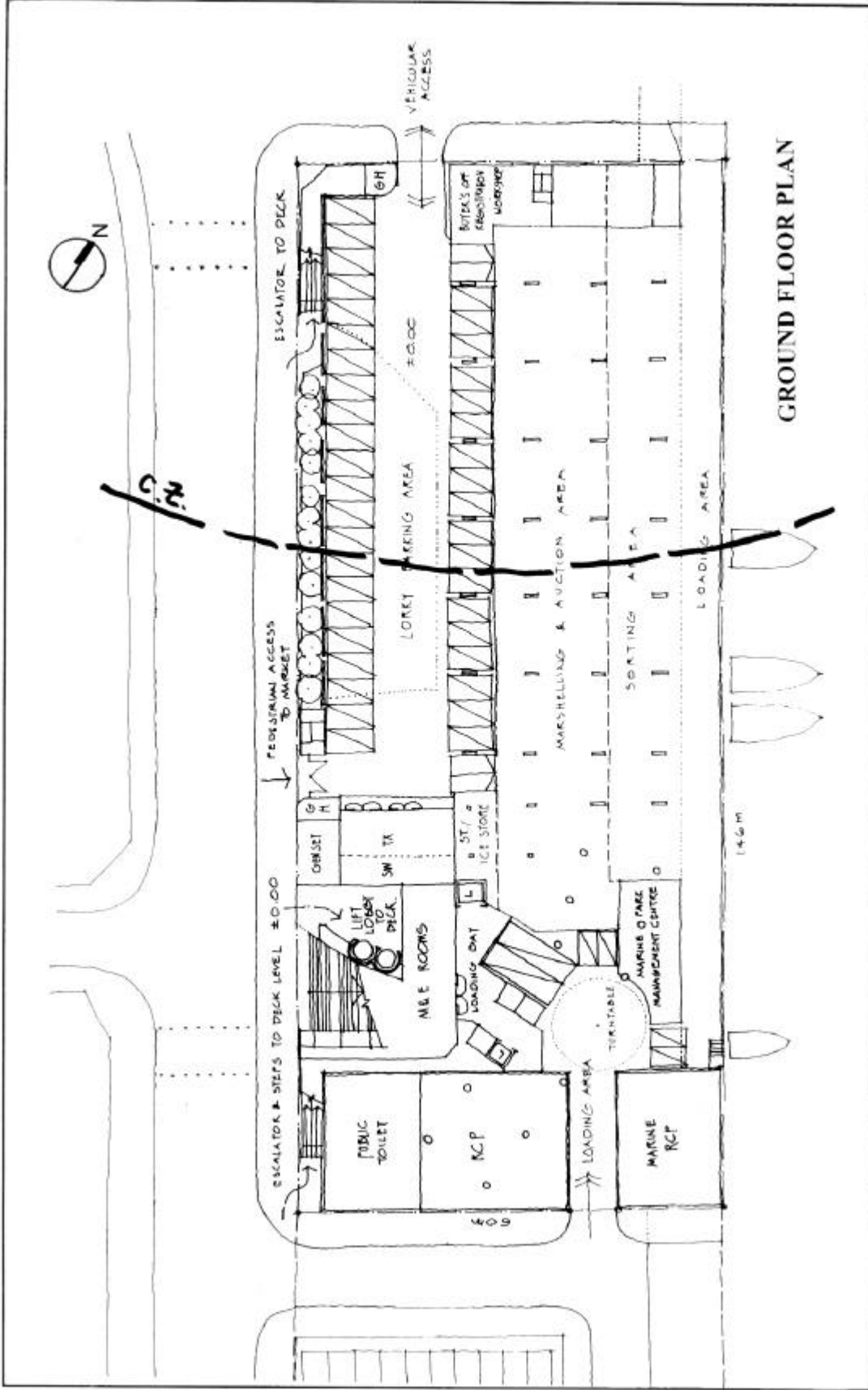


**Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories**

Location of Site

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1	
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GROUND FLOOR PLAN



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Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories

Ground Floor Plan



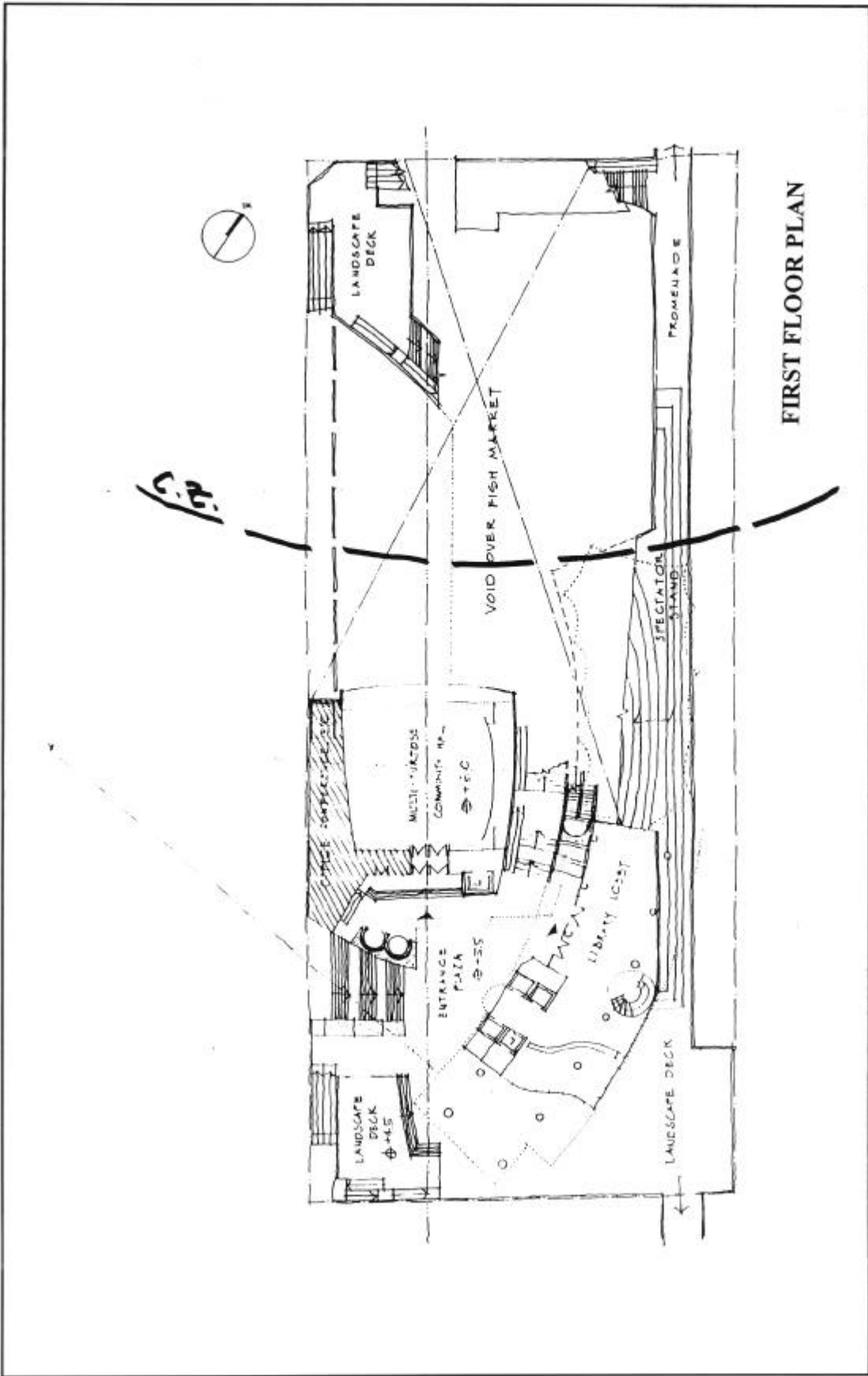
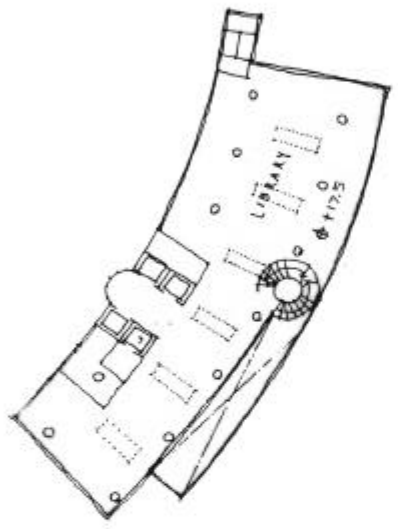


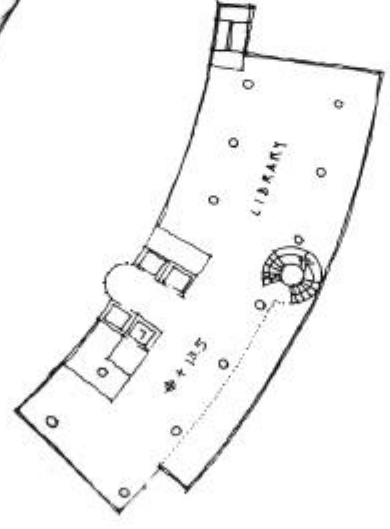
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**Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories**

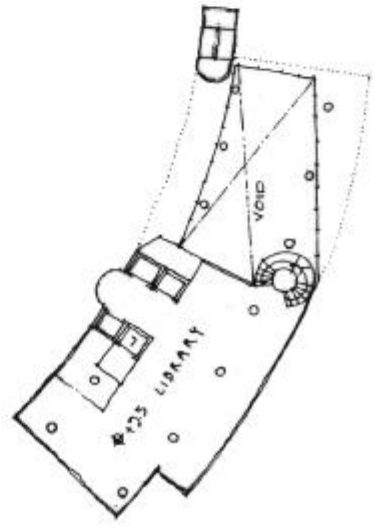
First Floor Plan



**SECOND FLOOR PLAN**



**THIRD FLOOR PLAN**



**FORTH FLOOR PLAN**



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**Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories**

Floor Plans of Public Library

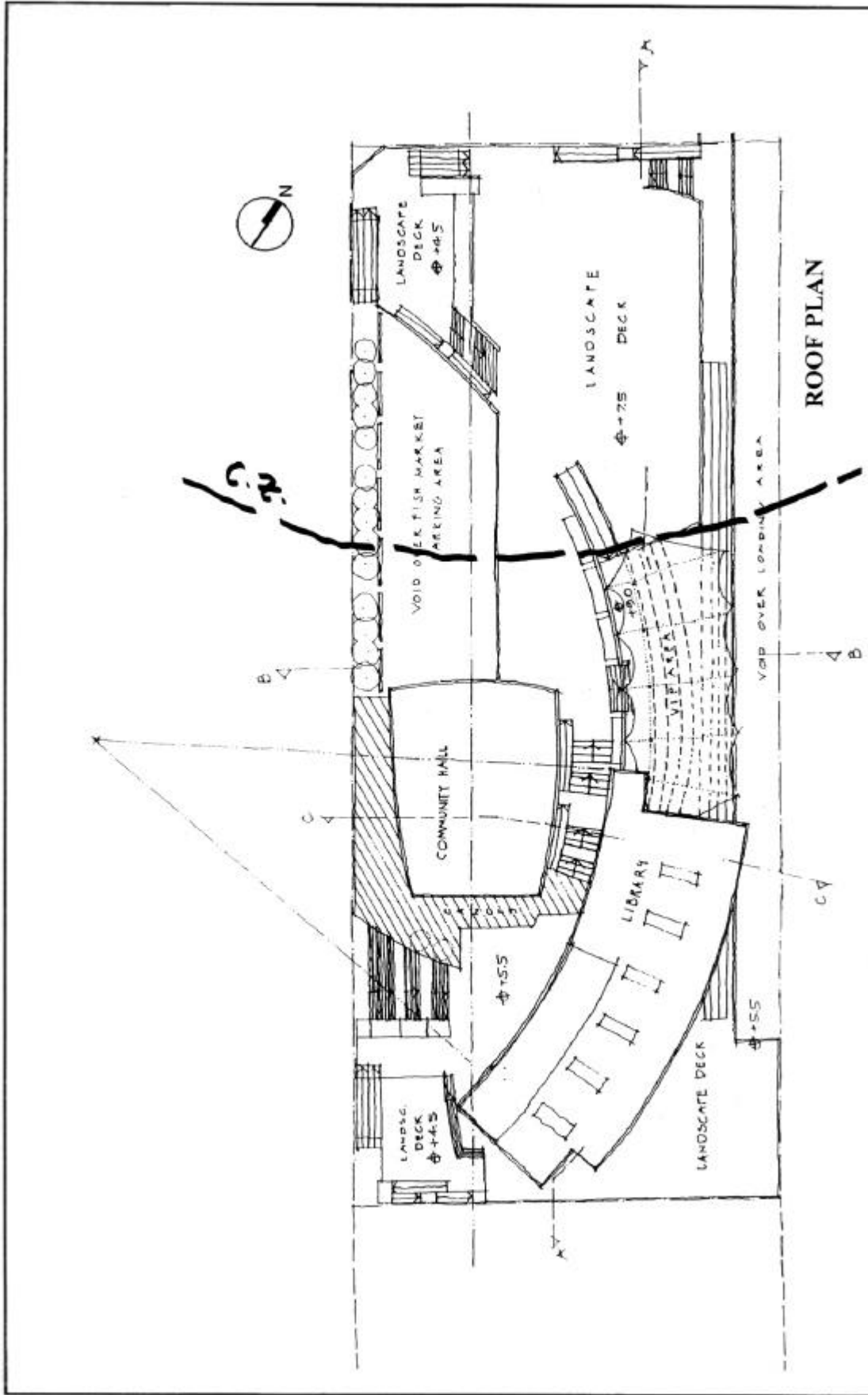
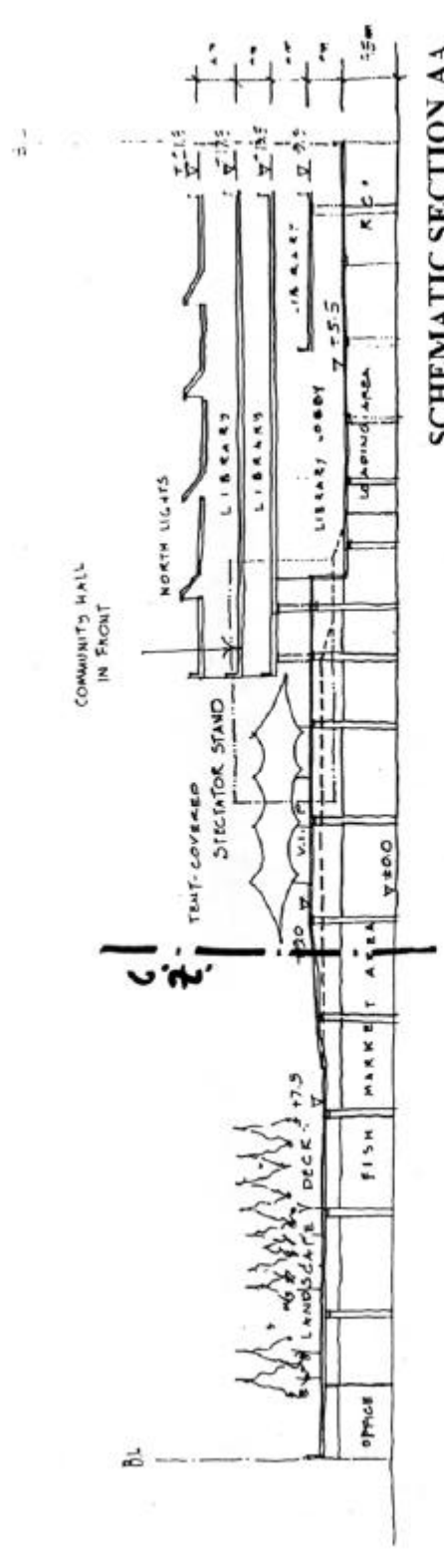


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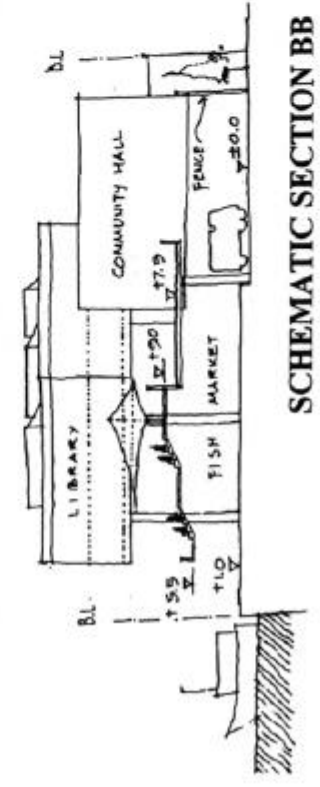
**Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories**

Roof Plan

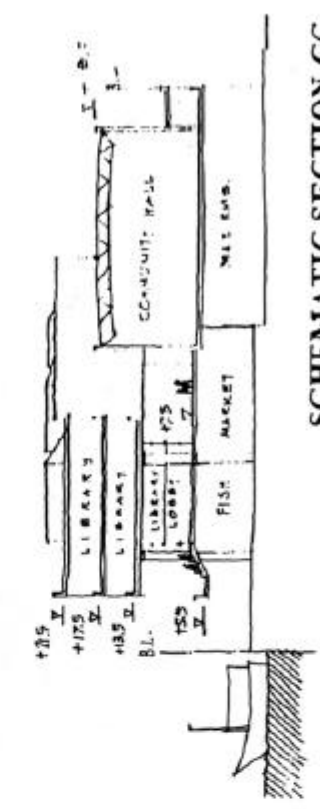
**ROOF PLAN**



**SCHEMATIC SECTION AA**



**SCHEMATIC SECTION BB**



**SCHEMATIC SECTION CC**



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**Proposed Joint User Complex and Wholesale Fish Market at Area 44 Tuen Mun New Territories**

Schematic Sections